#### SHIRE OF MOORA LOCAL PLANNING SCHEME NO.4



#### NOTICE OF PUBLIC ADVERTISEMENT OF PLANNING PROPOSAL

Planning and Development Act 2005 Shire of Moora

The local government has received an application to use and/or develop land for the following purpose and public comments are invited.

#### **Land Details:**

Lots M557 and M561 on Plan 3005 Coomberdale East Road, Coomberdale

#### Proposal:

Development of a proposed new 45 metre tower and various associated improvements on a 900 square metre portion of Lot M557, with access via Lot M561 and an unconstructed local road reserve, for telecommunications infrastructure purposes.

Details of the proposal are attached.

Comments on the proposal are now invited and can be emailed to <a href="mailto:shire@moora.wa.gov.au">shire@moora.wa.gov.au</a> or posted to the Shire's Chief Executive Officer at PO Box 211 MOORA WA 6510 by no later than **Friday 5 January 2024**. All submissions must include the following information:

- Your name, address and contact telephone number;
- How your interests are affected; whether as a private citizen, on behalf of a company or other organisation, or as an owner or occupier of property;
- Address of property affected (if applicable); and
- Whether your submission is in support of, or objecting to the proposal and provide any arguments supporting your comments.

All submissions received may be made public at a Council meeting and included in a Council Agenda, which will be available on the Shire's website, unless a submission specifically requests otherwise.

Gavin Robins
Chief Executive Officer
Shire of Moora

1 December 2023



Field Solutions Group Pty Ltd ABN 62 155 490 074 t 1300 000 488

www.fieldsolutions-group.com

15 November 2023

The Shire of Moora Town Planning PO Box 211 Moora WA 6510

Dear Sir / Madam

RE: DEVELOPMENT APPLICATION FOR A TELECOMMUNICATIONS FACILITY

Lot M557 and M561 on Plan 3005 761 Coomberdale East Road, Moora WA 6512

We submit herewith a Development Application for a Telecommunications Facility over the above referenced land.

The proposed development will be located at 761 Coomberdale East Road, Moora WA 6512, further described as Lot M557 and M561 on Plan 3005 552.

This development application is made in accordance with the Planning and Development Act 2005 for assessment under the Shire of Moora Local Planning Scheme No. 4. The subject land is located in the General Agriculture Zone and, under the Zoning Table, a Telecommunications Facility in the General Agriculture Zone is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions.

Would Council please confirm the amount for the application fee, and we will pay by credit card?

We choose to lodge this application electronically and it would be appreciated if all correspondence to do with this application please be sent by email.

We trust the information provided is sufficient that the application will be properly made. If this is not the case, please contact the writer as a matter of urgency.

**Yours Sincerely** 

Angus Lovell | Town Planner

### SHIRE OF MOORA LOCAL PLANNING SCHEME NO.4



FORM 1 - APPLICATION FOR DEVELOPMENT APPROVAL							
Owner Details							
Name/s: Kim Steven Topham & Michael David Topham							
ABN (if applicable):							
Postal Address: 761 Coomberdale East Road, Moora	a WA 6512 Postcode:						
Work Phone: Fax: Home Phone: 0428 518 015	E-mail: tophambros@gmail.com						
Contact Person for Correspondence: Kim Topham							
Signature: Refer to Attached Owners Consent Date: 15/11/2023							
Signature:	Date:						
<ul> <li>i) Use and attach a separate copy of this page where there are ii) The signature/s of all registered owner(s) as listed on the land cannot proceed without the required signature/s. For the princludes the persons referred to in the Planning and Develor 2015 Schedule 2 clause 62(2). Land owned by an incorporate 1 director of the company, accompanied by the company second 1 director and 1 secretary of the company; or 1 director if a sole proprietorship company. Print the full names and positions of company signatories und 1 director if a sole proprietorship company. Print the full names and positions of company signatories und 1 director if a sole proprietorship company. Print the full names and positions of company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship company signatories und 1 director if a sole proprietorship co</li></ul>	I's Certificate of Title is required. This application purposes of signing this application an owner opment (Local Planning Schemes) Regulations ted body (i.e. a company) must be signed by: seal; or  derneath the signatures.  this application must be provided and can be and, Unmanaged Crown Reserves, land under the is not consistent with the reserve's purpose, to a lease issued under the Land Administration						

38/23 Narabang Way Belrose NSW 2085

Postcode:

Name/s:

Address:

Field Solutions Group

#### Page 1

Work Phone: 0452 662	762 F	ax:	E-mail:					
Home Phone:			angus.lovell@fieldsolutions-group.com					
Mobile Phone:								
Contact Person for Corres	spondence:	Angus Lovell						
Signature:			Date: 15/11/2023					
/	<del>-</del>		10/11/2020					
<ul> <li>NOTES:</li> <li>i) Failure to provide a suitably completed development application form, a copy of the relevant Certificate/s of Title, sufficient plans and other supporting information and/or the correct application fee may result in the application being returned or placed on hold.</li> </ul>								
ii) The application fee payable will be confirmed by the local government following receipt of the application. Processing of the application will not commence until the fee is paid in full.								
	s provided wi	ith this application may	ent (Local Planning Schemes) Regulations 2015 be made available by the local government for					
the local government's a	adopted sche	edule of fees and cha	government an additional fee in accordance with arges will be payable by the applicant. Further dvertising will not proceed until the additional fee					
			nd plans will be retained by the local government wner following final determination.					
Property Details								
NOTE: The details provided	must match t	those shown on the rel	levant Certificate/s of Title.					
Lot No:Lot 557 & 561 on P	Plan 3005 H	louse/Street No: 76	1 Location No:					
Survey Diagram or Plan	Certificate c	of Title Volume No:	Certificate of Title Folio No:					
No: P3005	198	89	181					
Title encumbrances (e.g.	easements,	restrictive covenant	s):					
NA								
Street name:		Suburb:						
Coomberdale East Road	l	Moora						
Nearest street intersection	า:							
Coombei	rdale East R	Road / Old Geraldton	Road					
Proposed Development:								
		(New construction w	orks with no change of land use)					
,			with no construction works)					
	◯ Works a	J	,					
NOTE: If the proposal involves advertising signage the Additional Information for Development Approval for Advertisements form (i.e. a Form 2) must be completed and submitted with this application.								
Is an exemption from development claimed for part of the development? Yes \( \subseteq No \( \subseteq \)								
If yes, is the exemption for: Works								
•	☐ Use							

Description of proposed works and/or land use:
Telecommunications Facility
Description of exemption claimed (if relevant):
Nature of any existing buildings and/or land use:
General Agriculture - No Existing Buildings
Approximate cost of proposed development (excluding GST):
\$243,000
OFFICE USE ONLY
Date application received:
Received by:
Application reference number:
Application fee payable: \$
Date of receipt of application fee from applicant:
Receipt number for application fee:

WESTERN



#### AUSTRALIA

REGISTER NUMBER N/A DATE DUPLICATE ISSUED DUPLICATE N/A N/A

> VOLUME 1989

FOLIO

181

## RECORD OF CERTIFICATE OF TITLE UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

Barrobeth

#### THIS IS A MULTI-LOT TITLE

#### LAND DESCRIPTION:

LOTS M 549, M 557, M 561 & M 562 ON PLAN 3005

#### **REGISTERED PROPRIETOR:**

(FIRST SCHEDULE)

KIM STEVEN TOPHAM MICHAEL DAVID TOPHAM BOTH OF R.M.B. 706, COOMBERDALE AS TENANTS IN COMMON IN EQUAL SHARES

(T J316071) REGISTERED 9/6/2005

#### LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:

(SECOND SCHEDULE)

- THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERSEDED PAPER VERSION OF THIS TITLE. SEE VOL 1989 FOL 181. AS TO LOTS M 561 & M 562 ON P 3005 ONLY
- EXCEPT AND RESERVING METALS, MINERALS, GEMS AND MINERAL OIL SPECIFIED IN TRANSFER 2. 1240/1921.
- 3. J363876 MORTGAGE TO WESTPAC BANKING CORPORATION REGISTERED 18/7/2005.

Warning:

A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.

\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.

Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE------END OF CERTIFICATE

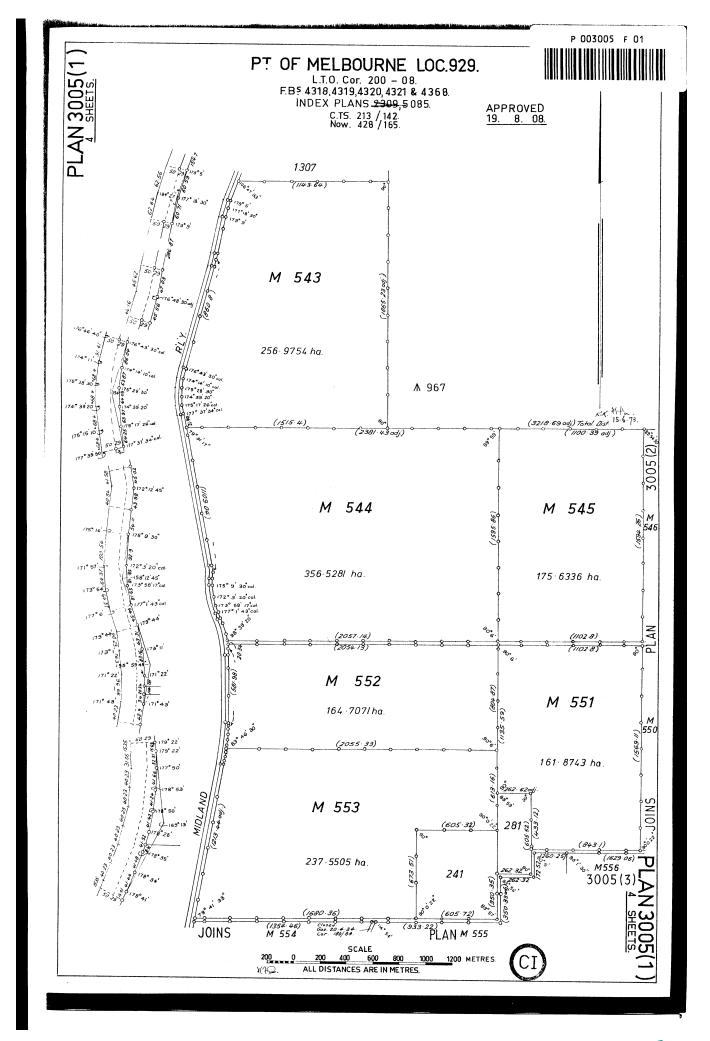
#### **STATEMENTS:**

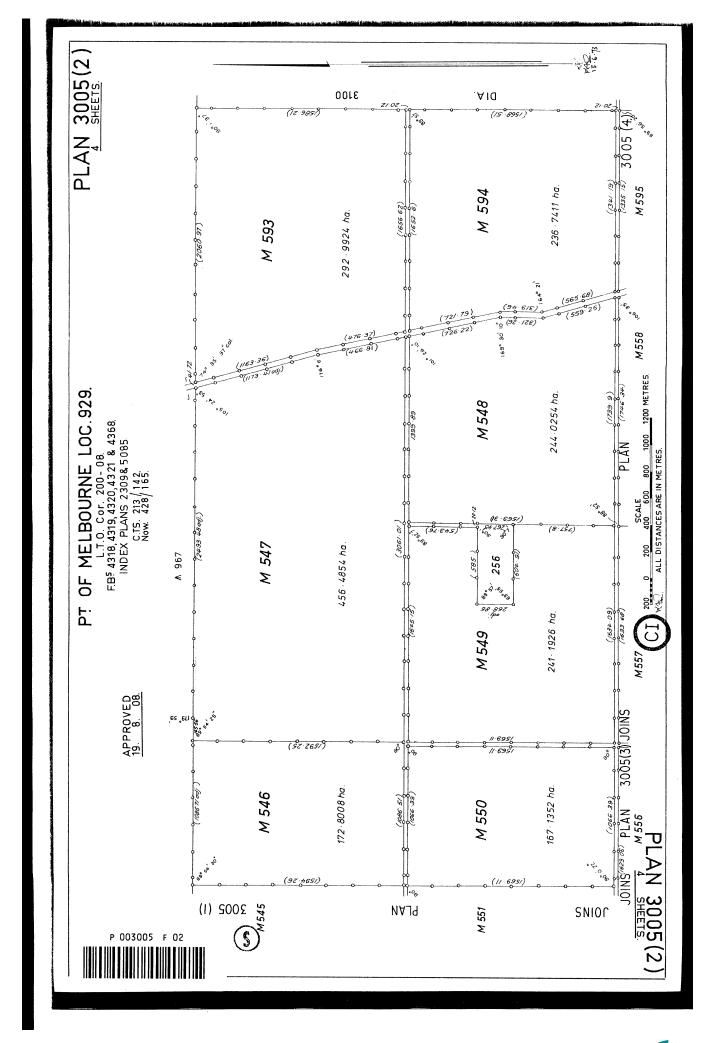
The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

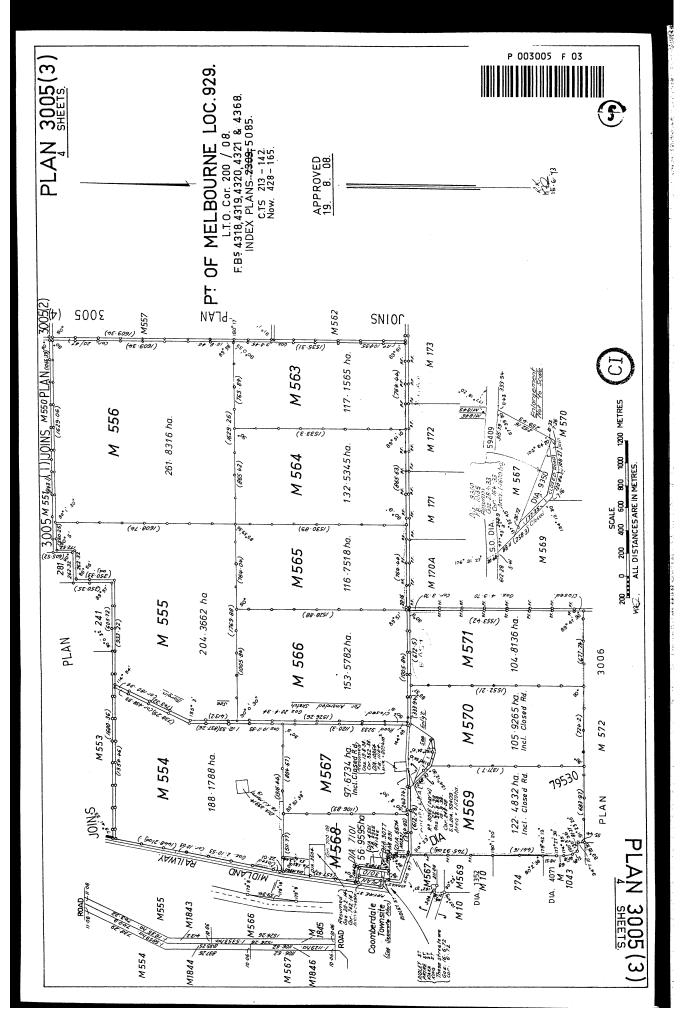
SKETCH OF LAND: P3005 PREVIOUS TITLE: 768-15

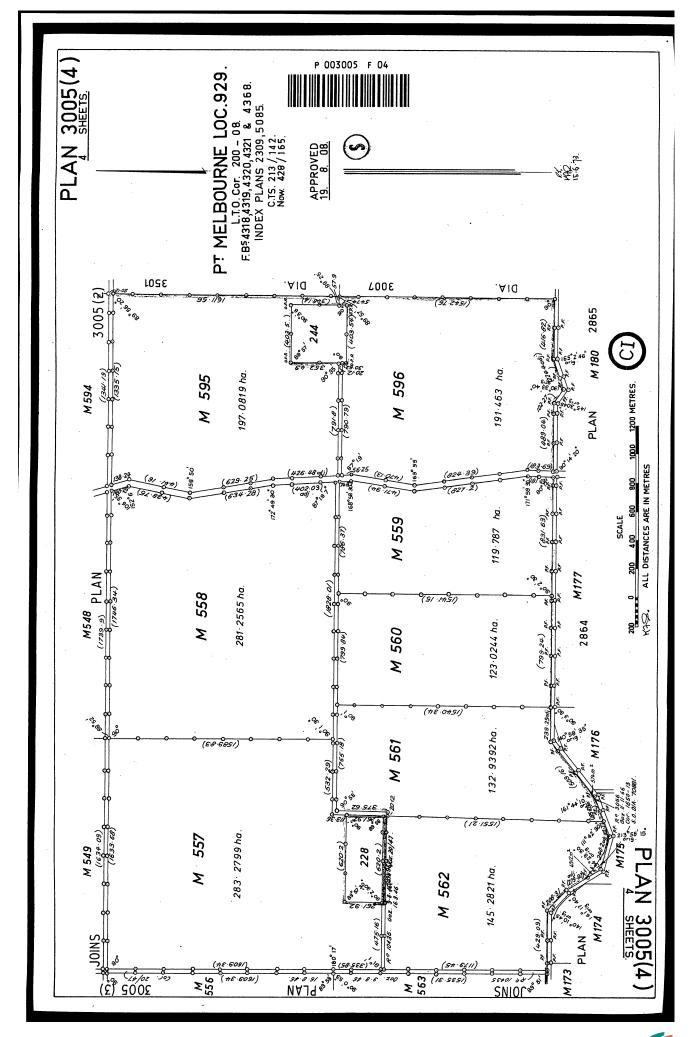
NO STREET ADDRESS INFORMATION AVAILABLE. PROPERTY STREET ADDRESS:

LOCAL GOVERNMENT AUTHORITY: SHIRE OF MOORA









## **Plan 3005**

Lot	Certificate of Title	Lot Status	Part Lot
543	11/144A	Registered	
544	11/146A	Registered	
545	219/58A	Registered	
546	219/58A	Registered	
547	1989/180	Registered	
548	1989/178	Registered	
549	1989/181	Registered	
550	1115/613	Registered	
551	1989/182	Registered	
552	1204/772	Registered	
553	1742/279	Registered	
554	1742/279	Registered	
555	1176/297	Registered	
556	1664/877	Registered	
557	1989/181	Registered	
558	1578/740	Registered	
559	1578/740	Registered	
560	1578/740	Registered	
561	1989/181	Registered	
562	1989/181	Registered	
563	1664/877	Registered	
564	1664/877	Registered	
565	1017/284	Registered	
566	1176/296	Registered	
567	1176/296	Registered	
569	1176/293	Registered	
570	1994/598	Registered	
571	1994/599	Registered	
593	1989/178	Registered	
594	1989/178	Registered	
595	159/103A	Registered	
596	863/52	Registered	
1843	1176/297	Registered	
1844	1742/279	Registered	
1845	1176/296	Registered	
1846	1176/296	Registered	

# Owner's Consent for the making of a development application under the *Planning and Development Act 2005*

I, Kim Steven Topham, and I, Michael David Topham, being the registered owners of the premises identified as Lots M557 and M561 on Plan 3005, known as 761 Coomberdale East Road, Coomberdale WA 6512, in the Shire of Moora, consent to the making of an application for development approval by Field Solutions Group on the premises described above for the purpose of a Telecommunications Facility.

Kim Steven Topham

Date

Michael David Topham

18-1-2

Date

DATE OF IOOUE	5/11/2023			
DATE OF ISSUE  DRAWING PACKAGE VERSION	<del>-</del>			
DRAWING PACKAGE VERSION	A			
GENERAL				
MOOR003-G1, SITE SPECIFICATIONS	A	1 1 1	I	
MOOR003-G2 HIGH LEVEL SITE PLAN				
MOOR003-G3 SITE LAYOUT	A		i	
MOOR003-G4 SETOUT PLAN	A		i	
MOOR003-G5 SITE ELEVATION	A		i	
MOOR003-G6 STANDARD CONSTRUCTION NOTES	Α Ι		'	
ANTENNACATRANGAMONO				
ANTENNAS & TRANSMISSION	•			
MOOR003-A1  PANEL ANTENNA AND TRANSMISSION CONFIGURATION	_   A   _			
MOOR003-A2; RF PLUMBING DIAGRAM	A			
MOOR003-A3  CAMBIUM RF PLUMBING DIAGRAM	_			
STRUCTURAL				
MOOR003-S1  GEOTECH REPORT	A	1 1 1	ı	
MOOR003-S2  TOWER DESIGN AND CABLE DESIGN	A		i	
MOOR003-S3  DETAILED HEADFRAME DESIGN	A		ı	
MOOR003-S4  DETAILED MICROWAVE MOUNT DESIGN	A		1	
MOOR003-S5  TOWER FOOTING DESIGN	A		i	
MOOR003-S6 <sub>1</sub> SOLAR FRAME DESIGN	A		1	
MOOR003-S7  SOLAR FRAME/ ODU FOUNDATIONS/ FOOTING DESIGN	A		1	
MOOR003-S8 TOWER DESIGN CERTIFICATION	A			
MOOR003-S9  HEADFRAME DESIGN CERTIFICATION	A			
MOOR003-S10 MICROWAVE MOUNT ANTENNA DESIGN CERTIFICATION	A			
EL EGEDIO AL				
ELECTRICAL				
MOOR003-E1  ELECTRICAL SPECIFICATIONS				
MOOR003-E2  SITE EARTHING DETAILS	A			
MOOR003-E3  SINGLE LINE DIAGRAM	A			
MOOR003-E4  SOLAR DESIGN/ LAYOUT	_   A   _			
MOOR003-E5  SOLAR ARRAY CONFIGURATION PLAN	_   A   _			
MOOR003-E6  GENERATOR FOOTING DESIGN	_   A   _			
EQUIPMENT FACILITY				
MOOR003-F1 CABINET LAYOUT	A	1 1 1	1	
MOOR003-F2 RACK LAYOUTS	A			
MOOR003-F3 CONDUIT/ CABLE TRAY FEEDER RUN DESIGN	A		1	
·	1		-	
LEASE / LICENCE				
MOOR003-L1  LEASE DOCUMENT	A			
MOOR003-L2 LEASE PLAN	A			
EME EXCLUSION ZONES				
MOOR003-Z1 <sub>1</sub> FSG EME SAFETY SIGNAGE	. Δ .			
INIOONUUS-ZI FSG EINE SAFETT SIGNAGE	_			



# FIELD SOLUTIONS SITE COOMBERDALE

761 COOMBERDALE EAST ROAD MOORA WA 6512 LOT M557 & M561 P003005

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#### REFERENCE DOCUMENTS

LEBLANC		REV 0	I	ı	1	ı	ı	1	1	1 1
CIVIL TEST		REV 1	I	I	ı	I	ı	1	1	
LEASE		REV 1	l	ı		J	1			
ELTEK	GA-CTE30844.4032-Hybrid Power System.PDF	REV 00	1	ı	1	1	1	1	1	
ELTEK	GA-CTEBB0444.1003-Battery Cabinet.pdf	REV 00	1	ı		J	1			
ELTEK	GA-CTEDX0028.1000-Empty Cabinet.pdf	REV 00	1	1	1	1	1		1	
ELTEK	SOLUTION1_ DC_LOAD_6207W_UPDATE20230518.pdf	REV 00	1	1	1	ī	ī	ī	ī	
ELTEK	SCH-CTE30844.4032-Hybrid Power System.pdf	REV 00	1	1	1	ī	ī	ī	1	
ELTEK	SCH-CTEBB0444.1003-Battery Cabinet.pdf	REV 00	1	1	1		ī	ī	1	
ELTEK	SCH-CTEDX0028.1000-Empty Cabinet.pdf	REV 00	1	1	1		ī	ī	1	
ELTEK	1.Clenergy-PV-ezRack-SolarTerrace-III-A-with-Concrete-Brochure-18022021-web.pdf	REV 00	1	1	1		ī	ī	ī	
ELTEK	Clenergy-PV-ezRack-SolarTerrace-III-A-Double-Support-Datasheet-15022021.pdf	REV 00	ı	ı	ī	ī	i	i	ī	
ELTEK	Clenergy-PV-ezRack-SolarTerrace-III-A-Installation-Guide-V3.2.pdf	REV 00	1	1	1		ī	ī	1	
COUNCIL DA		i	ĺ	i	ī	i i	i	i	ī	
COUNCIL BA		1	ı	ı	ī	Ī	ī	ī	ī	
BROADLINE	Solar Footings - Pier Foundations OPTION 1.pdf	REV A	ı	i	ī	i	i	i	ī	
BROADLINE	Solar Footings - Strip Foundations OPTION 2.pdf	REV A	ı	ī	ī	Ī.	ī	ī	ī	
BROADLINE	Solar Footings - Slab Foundations OPTION 3.pdf	REV A	ı	ī	ī	Ţ.	ī	ī	ī	
BROADLINE	SLAB DRAWING GENF-S100.pdf	REV A	ı	i	ī	Ī.	ī	ī	ī	
BROADLINE	Solar Footing GA Carport Type - SOLF-S201_rotate.pdf	REV A	ı	i	i	i	i	i	ī	
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# FIELD SOLUTIONS SITE COOMBERDALE

#### **DISTRIBUTION LIST**

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761 COOMBERDALE EAST ROAD MOORA WA 6512 LOT M557 & M561 P003005

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# STREET ADDRESS 761 COOMBERDALE EAST ROAD MOORA WA 6512 LOT M557 & M561 P003005





## SITE LOCATION DATA

SOURCE: FSG R.A.N

DATUM: MGA (GDA94) ZONE: 50

**LATITUDE** -30.449768 LONGITUDE 116.104739

RFNSA NUMBER:

FIELD SOLUTIONS SITE - COOMBERDALE

GEO REFERENCE: LANDGATE

#### **NEW FSG FACILITY**

- 1. NEW FSG 45M LATTICE TOWER. REFER TO LEBLANC DRAWING XXXX
- 2. FSG ANTENNA REFER TO DRAWINGS A1, A2 AND A3
- 3. FOR TOWER FOUNDATION DETAILS, REFER TO LEBLANC DRAWING XXXX BASED UPON GEOTECH UNDERTAKEN BY CIVIL TEST

## **EQUIPMENT SHELTERS**

- 1. FSG SOLAR CABINET INSTALL
- 2. 3X OUTDOOR SHELTER WITH DATA AND POWER SYSTEMS UNDER SOLAR ARRAY

ODU/SHELTER DESIGN CRITERIA									
	WIND REGION	DESIGN WIND SPEED	FIRE PROTECTION REQUIREMENT	ELEVATED OTC LEVEL (ABOVE 1:100 FLOOD LEVEL INC FREEBOARD)					
	XX	XXm/s	N/A	N/A					

# A 05/10/2023 DBAFT Rev Date Revision Details Consultant CAD Designer Verfer Approver



#### **TRANSMISSION**

FOR FSG TRANSMISSION REQUIREMENTS REFER TO DRAWING A1

#### SITE HAZARDS

- 1. MANUAL HANDLING
- 2. WORKING AT HEIGHTS
- 3. SLIPS, TRIPS AND FALLS
- 4. ELECTRICAL HAZARDS
- 5. WEATHER / LIGHTING
- 6. SUN EXPOSURE
- 7. WILDLIFE / INSECTS

#### CONSTRUCTION SITE ACCESS

- 1. Access to site via existing access road along 761 Coomberdale East Road -30.468124, 116.103156
- 2. Once on the property, follow access track for approximately 840 metres and turn right into paddock. Follow track to the NE and head about 200 meters and head through gap almost due west, head slightly left and then head across paddock and head left past the tree towards the top (-30.455827, 116.106171). Head north for ~ 640 metres towards the location for the tower.

#### PROPERTY AND SITE SIGNAGE

- 1. SITE SIGNAGE ALIGNED TO FSG STANDARD REQUIREMENTS (INCLUDING EME)
- 2. REFER TO DRAWING Z1

#### **EME EXCLUSION ZONES**

1. DETAILS TBC FOR FSG

#### ELECTRICAL INSTALLATION AND SITE EARTHING DESIGN

- 1. SOLAR EARTHNG REFER TO DRAWING E2
- 2. FOR SITE POWER REFER TO DRAWINGS E1-E6

REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

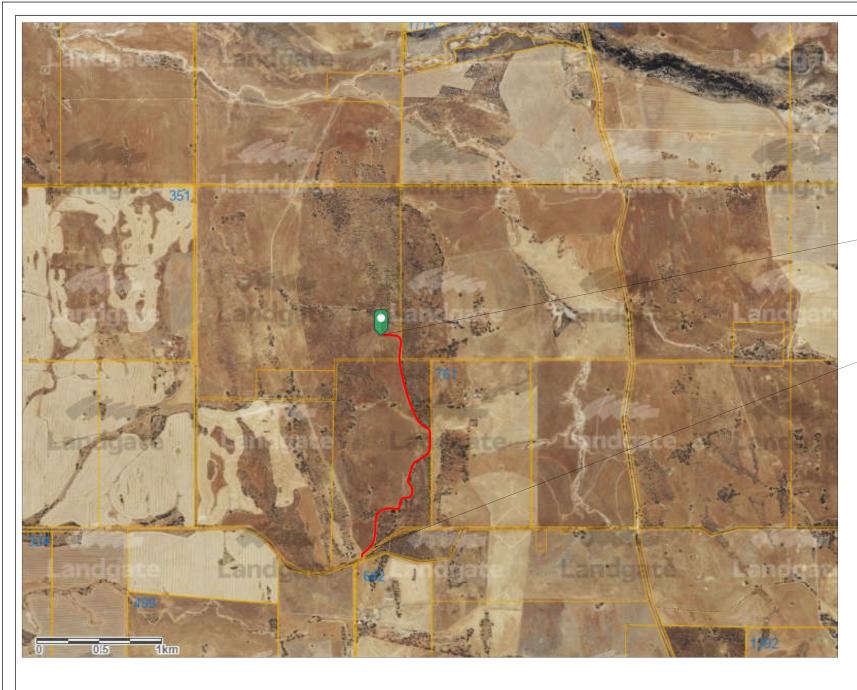
761 Coomberdale East Road

SITE SPECIFICATION

awing Status:

DRAFT

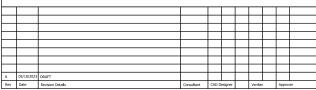
P6MOOR003-G1 A





Proposed new FSG 45m tower -30.449768, 116.104739 Solar 30m x 30m Lease

Access to site via existing access road along 761 Coomberdale East Road -30.468124, 116.103156



FIELDSOLUTIONS NAME TO THE PROPERTY OF THE PRO

REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

MOORA

761 Coomberdale East Road

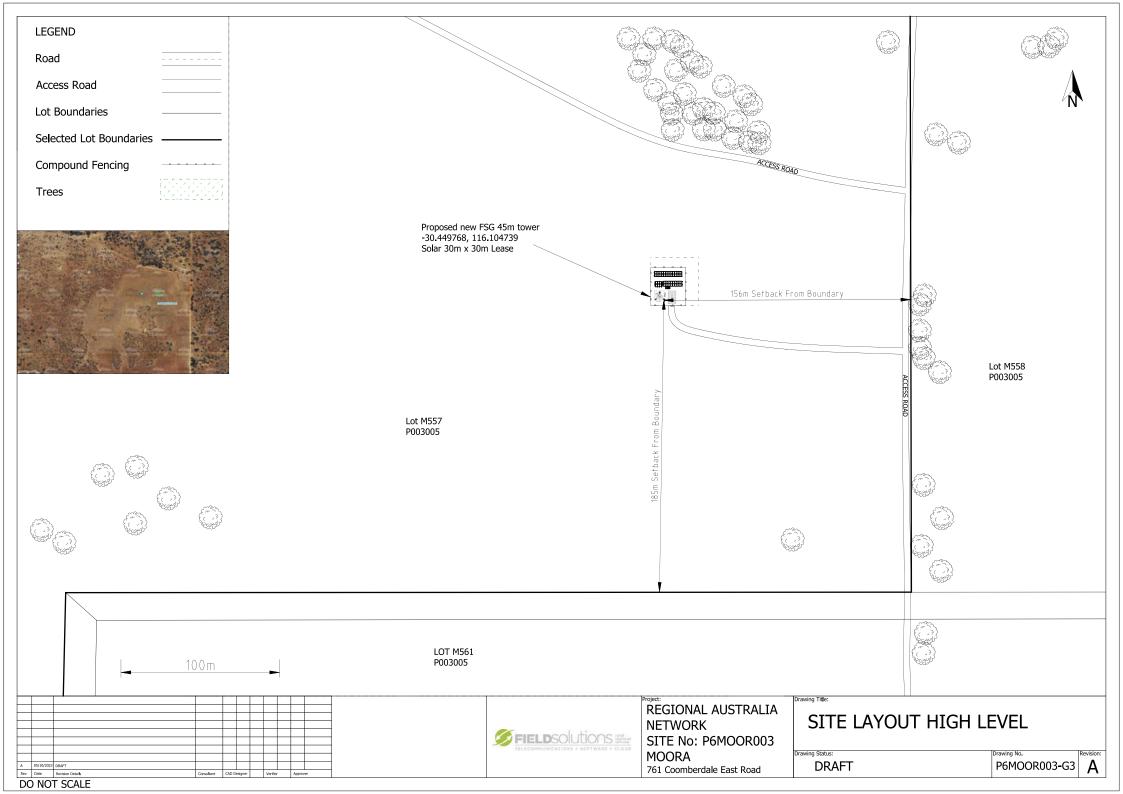
SITE LAYOUT HIGH LEVEL

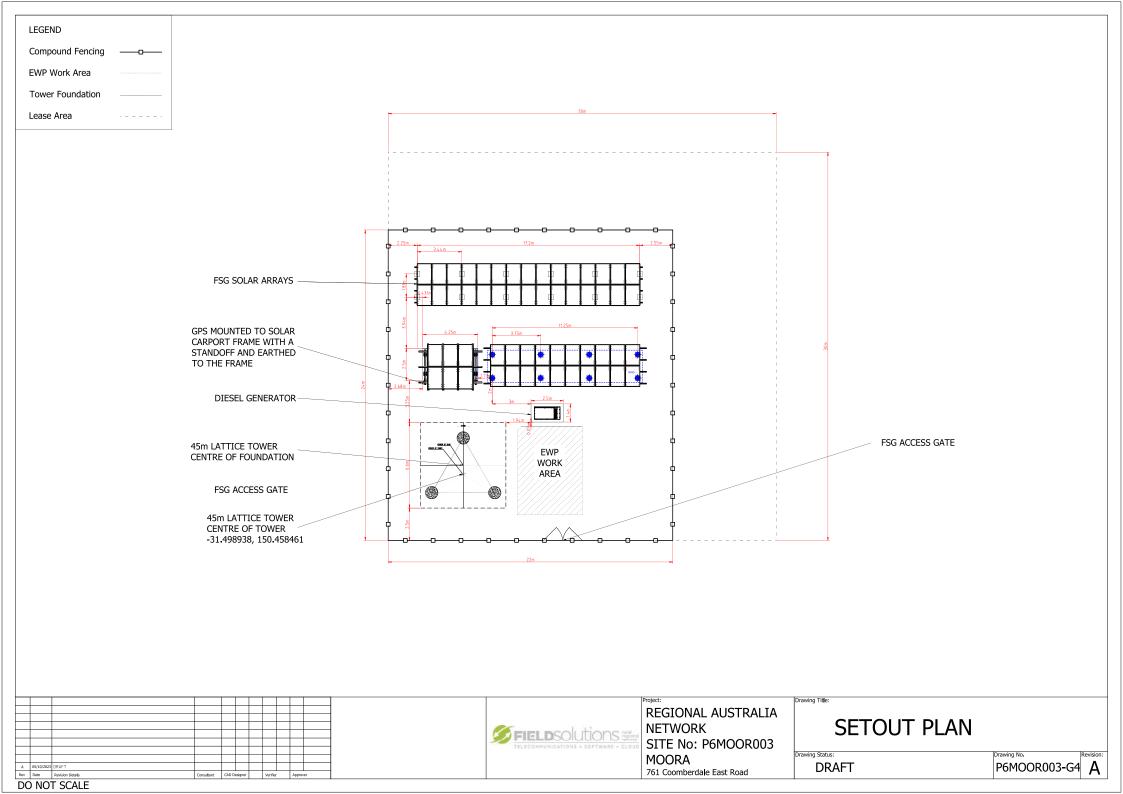
DRAFT

P6MOOR003-G2 Revision:

Rev Date Revision Details

DO NOT SCALE





NOTE: THIS DRAWING IS DIAGRAMATIC ONLY AND SHOULD NOT BE SCALED. **FSG SOLAR POWER SYSTEM** 1.8m CHAIN SECURITY FENCE WITH GATE HEADFRAME FOR FSG ANTENNAS AND ASSOCIATED EQUIPMENT 44.5m ACL **FSG MICROWAVE DISHES** LATTICE TOWER FSG 45 m FSG ODUs **SOUTH ELEVATION** REGIONAL AUSTRALIA SITE ELEVATION

DIAGRAMMATIC TOWER ELEVATION

P6MOOR003-G5 A

A 05/10/2023 DRAFT
Rev Date Revision Details

DO NOT SCALE

FIELDSOlutions Millions

NETWORK SITE No: P6MOOR003

MOORA 761 Coomberdale East Road

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- GENERAL AND PRELIMINARY

  1. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR ALL WORKS AND REQUIREMENTS UNLESS NOTED OTHERWISE
- THE CONTRACTOR OR REPRESENTATIVE SHALL BE RESPONSIBLE FOR LIAISON WITH THE PROPERTY OWNER REGARDING CONSTRUCTION OF THE INSTALLATION . THE PROPERTY MUST REMAIN SERVICEABLE AND OPERATIONAL AT ALL TIMES UNLESS AGREED WITH PROPERTY OWNER
- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND CONSTRUCTION
- 4. REFER TO GIVEN DIMENSIONS ONLY, DRAWINGS SHOULD NOT TO BE SCALED. DIMENSIONS ARE IN MILLIMETERS UNO
- 5. SPECIFIED PRODUCTS ( OR THEIR APPROVED EQUIVALENTS ) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION
- THE CONTRACTOR SHALL USE DROP SHEETS OR ANY OTHER METHOD DEEMED NECESSARY TO PROTECT THE EXISTING BUILDING FROM DAMAGE DURING CONSTRUCTION, IF REQUIRED.

  7. NORTH POINT AS SHOWN ON DRAWINGS INDICATES MGA NORTH ( GDA 94 DATUM ) UNLESS NOTED OTHERWISE.

  8. ANTENNA AZIMUTHS ARE SPECIFIED IN DEGREES REFERENCED TO TRUE NORTH ( TN ).

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SET OUT OF SHELTER OR OUTDOOR UNITS IN ACCORDANCE WITH THE DESIGN INTENT AS SHOWN ON THE DRAWINGS AND TO FSG STANDARDS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SET OUT OF THE CABLE LADDER IN ACCORDANCE WITH THE DESIGN INTENT AS SHOWN ON THE DRAWINGS
- 3 . CONCRETE WORKS TOLERANCES SHALL COMPLY WITH CLAUSE 17.5 OF AS 3600 .
- 4 . STRUCTURAL STEEL WORK TOLERANCES SHALL COMPLY WITH CLAUSE 15.3 OF AS4100.

#### UNDERGROUND SERVICES

- 1. EXISTING SERVICES SHOWN ON SITE DRAWINGS IS REPRESENTATIVE OF AVAILABLE INFORMATION ( OBTAINED FROM LOCAL AUTHORITIES ) AND THE SITE SURVEY .
- 2. SERVICES INFORMATION SHALL BE READ IN CONJUNCTION WITH RELEVANT LOCAL AUTHORITIES DRAWINGS TO CONFIRM
- 3. ADDITIONAL UNDOCUMENTED SERVICES MAY BE PRESENT ON SITE. FOR INFORMATION OF UTILITY UNDERGROUND SERVICES CALL 1100 ' DIAL BEFORE YOU DIG ' . OR REFER TO DIAL BEFORE YOU DIG REPORT FROM WEBSITE
- 4. THE CONTRACTOR SHALL IDENTIFY AND CONFIRM THE LOCATION OF ALL RELEVANT UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF THE WORKS USING MANUAL POTHOLING OR OTHER APPROVED MEANS.

- 1. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS4100 , AS 1657 AND AS / NZS 1554.1
- 2. ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS / NZS 3679.1 ( GRADE 300 FOR HOT -ROLLED SECTIONS AND BARS ), AS / NZS 3678 ( GRADE 25 ) FOR HOT - ROLLED PLATES AND AS 1163 ( GRADE 250 MIN ) FOR HOLLOW SECTIONS 🛕
- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE PRIOR TO FABRICATION
- ALL PREFABRICATION SHALL CONFIRM ALL DIMENSIONS ON SITE PRIOR TO FABRICATION,
   ALL PREFABRICATION, IN ACCORDANCE WITH
   AS / NZS 4680, PLUG AND SEAL WATERTIGHT ANY HOLES MADE FOR GALVANISING.

  THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER TO STEEL

  WHITE OR NOT DETAILED ON THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER TO STEEL

  WHITE OR NOT DETAILED.
- WHETHER OR NOT DETAILED ON THE STEELWORK DRAWINGS .
- 6. UNLESS SPECIFIED OTHERWISE, WELDS SHALL BE GENERAL PURPOSE ( GP ) CONTINUES FILLET WELDS. DEFAULT SIZE IS LESSOR OF 6MM AND THICKNESS OF THE THINNEST PART BEING JOINED. STRUCTURAL PURPOSE ( SP ) WELDS SHALL BE SELECTED FOR STRUCTURES SUBJECT TO FATIGUE. 🛆
- 7. ANY CUTS , HOLES AND WELDS TO EXISTING STEELWORK SHALL BE TREADED WITH COLD GAL ZINC RICH PAINT BOLTS NOT DESIGNED SHALL BE GRATE 8.8 TO AS / NZS 1252 AND ' SNUG ' TIGHTENED
- 8. ALL BOLTS AND U\_BOLGHED SHALL BE SHUG SHALL BE SNUG TIGHTIEND AND SECURED WITH FLAT WASHER AND SPRING WASHER UNLESS SPECIFIED OTHERWISE. △
  10. PROVIDE APPROVED NEOPRENE (OR EQUIVALENT) WASHERS AND COLLARS AT ALL DISSIMILAR METAL INTERFACES.
  11. ALL CHEMICAL AND MECHANICAL MASONRY ANCHORS SHALL BE STAINLESS STEEL (UNLESS SPECIFIED OTHERWISE) AND
- INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION
- 12. TWO HOLE EARTH LUGS SHALL BE PROVIDED ON ALL MOUNTS, EXCEPT ON STEEL MONOPOLES, LATTICE TOWERS AND GUYED MASTS.

#### CONCRETE WORKS

- ALL CONCRETE WORKS SHALL COMPLY WITH THE CURRENT ISSUE OF AS 3600 AND OTHER RELEVANT STANDARDS REFERENCED THEREIN
- 2. UNLESS SPECIFIED OTHERWISE, CONCRETE MIX SHALL CONTAIN PORTLAND CEMENT TYPE GP OR GB 20 MM GRADED COARSE AGGREGATE AND ACHIEVE 80MM SLUMP AT POINT OF DELIVERY .
- 3. UNLESS SPECIFIED OTHERWISE, CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS ( fc ) SHALL BE 32MPa
- 4. SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED COATINGS. BEAM DEPTHS INCLUDES SLAB THICKNESS (IF ANY)
- 5. CONCRETE SURFACE SHALL BE CURED FOR A MINIMUM OF 7 DAYS. COMMENCING IMMEDIATELY AFTER PLACING.



- 1. ALL MASONRY WORK SHALL CONFORM WITH CURRENT ISSUE OF AS 3700 AND OTHER STANDARDS REFERENCED
- 2. BUILD IN AS NECESSARY, LINTELS, FRAMES BOLTS, LUGS, WALL TIES AND METAL WORK.
- 3. CAREFULLY POSITION OPENINGS FOR OTHER TRADES TO ELIMINATE CUTTING
- 4. BED JOINTS ARE TO BE 10MM THICK
- 5. BEFORE LAYING MASONRY UNITS, ENSURE THAT THE BASE IS CLEAN AND FREE OF LAITANCE
- 6. INSTALL WIRING FOR POWER AND OTHER CONDUITS WITHIN BLOCK CORES ( WHERE APPLICABLE ). DO NOT CUT CHASES
- 7. ALL WALL INTERSECTION SHALL BE OF BONDED CONSTRUCTION OR TIED TO EXISTING WITH A MEDIUM DUTY ( MIN . ) TIES AT 400 MM CENTRES VERTICALLY

#### TIMBER WORK

- 1. ALL TIMBER WORK SHALL CONFORM WITH CURRENT ISSUE OF AS / NZS 1684 AND AS / NZS 1720 AND OTHER STANDARDS REFERENCED THERE IN
- 2. MINIMUM STRENGTH GRADE SHALL BE F7, UNLESS SPECIFIED OTHERWISE

#### ELECTRICAL WORK ( POWER )

- 1. LOCATE AND IDENTIFY ALL UNDERGROUND SERVICES BEFORE COMMENCING WORK
- 2. THE ELECTRICAL INSTALLATION SHALL COMPLY WITH THE RELEVANT CODES, STANDARD, RULES AND REGULATIONS OF STATUTORY AUTHORITIES IN PARTICULAR STATE SERVICE AND INSTALLATION RULES, AS / NZS 3000 WIRING RULES, AS3015, AS / NZS 3017 AND THE SUPPLY AUTHORITY REGULATIONS
- 3. THE LOCATIONS AND MOUNTING HEIGHTS OF THE NEW INSTALLATION SHOWN ON THE SITE DRAWINGS IS INDICATIVE ONLY . THE FINAL LOCATIONS AND HEIGHTS SHALL BE DETERMINED ON SITE TO SUIT THE CLIENT AND THE INSTALLATION . THE CONTRACTOR SHOULD VISIT THE SITE DURING TENDER PERIOD TO BECOME FAMILIAR WITH SCOPE
- 4. ALL REQUIREMENTS FOR INSTALLATION REGARDING SUPPLY ARRANGEMENTS, PROVISION OF SERVICE CABLES AND CONSUMER MAINS AND METERING SHALL BE IN ACCORDANCE WITH AS / NZS 3000 AND RELEVANT STATE SERVICE AND INSTALLATION RULES
- 5. A SEPARATE MEN EARTH ELECTRODE SHALL BE PROVIDED BY THE CONTRACTOR BELOW THE METER BOX AS REQUIRED .
- 6. ALL WIRING SYSTEMS SHALL BE INSTALLED AND ENCLOSED BY APPROVED METHODS WHICH WILL READILY PERMIT CABLES TO BE DRAWN IN OR REPLACED AFTER COMPLETION OF CONSTRUCTION.
- 7. CABLE MAKERS SHALL BE PROVIDED FOR UNDERGROUND WIRING FROM WITHIN THE PROPERTY BOUNDARY AND TO THE FSG INSTALLATION, AT THE COMMENCEMENT AND FINISH OF EACH ROUTE AND AT EACH CHANGE OF DIRECTION.
- 8. ALL EXISTING SURFACES , KERBS , GUTTERS , INVERTS , VEHICLE CROSSING AND PAVEMENTS DISTURBED AFTER INSTALLATION OF UNDERGROUND WIRING SHALL BE REINSTATED AND MADE GOOD BY THE CONTRACTOR.

- 1. EQUIPMENT AND ANTENNA MOUNTS SHALL BE EARTHED IN ACCORDANCE WITH THE EARTHING SPECIFICATION
- 2. ALL EXTERIOR EARTH TAPE ELECTRODES SHALL BE COPPER BONDED HARDENED STEEL UNLESS OTHERWISE NOMINATED ON THE SITE DRAWINGS .
- 3. THE EARTHING SYSTEM SHALL BE CHECKED FOR CONTINUITY AND IMPEDANCE SHALL BE MEASURED AND WRITTEN TEST REPORT PROVIDED
- 4. EARTHING ELECTRODES SHALL BE INSTALLED AT A DEPTH OF NOT LESS THAN 3 METERS UNLESS NOTED OTHERWISE.

#### SEDIMENT CONTROL

- 1. DURING CONSTRUCTION, EROSION AND SEDIMENT MUST BE MANAGED IN ACCORDANCE WITH THE VARIOUS STATE GUIDELINES.
- 2. TEMPORARY SILT FENCING MUST BE ERECTED AND MAINTAINED AROUND THE PERIMETER OF THE DEVELOPMENT SITE WHERE NECESSARY DURING CONSTRUCTION
- 3. STOCKPILES OF TOPSOIL, SAND, AGGREGATE, SPOIL OR OTHER MATERIAL SHALL BE STORED CLEAR OF ANY DRAINAGE PATHS
- AND BE PREVENTED FROM ENTERING ANY ROADS, DRAINAGE SYSTEMS OR ADJOINING PROPERTIES.

  4. THE CONTRACTOR MUST IMMEDIATELY CLEAN UP AND REMOVE ANY DEPOSITED CONSTRUCTION MATERIAL OR SILT RUNOFF FROM THE DEVELOPMENT SITE.

**REGIONAL AUSTRALIA** 

**NETWORK** SITE No: P6MOOR003 MOORA

761 Coomberdale East Road

## STANDARD CONSTRUCTION NOTES

DRAFT

P6MOOR003-G6 A

DO NOT SCALE

#### **ELECTRICAL DESIGN FOR BATTERY CABINET**

REFERENCE ELTEK DRAWING GA-CTEBB0444.1003 FILENAME: GA-CTEBB0444.1003-Battery Cabinet.pdf

#### **ELECTRICAL DESIGN FOR HYBRID POWER SYSTEM**

REFERENCE ELTEK DRAWING GA-CTE30844.4032 FILENAME: GA-CTE30844.4032-Hybrid Power System.pdf

### **ELECTRICAL DESIGN FOR DISTRIBUTION CABINET**

REFERENCE ELTEK DRAWING GA-CTEDX0028.1000 FILENAME: GA-CTEDX0028.1000-Empty Cabinet.pdf

A 45/10/2023 DRAFT

Eve Date Revision Details Consultant CAD Designer Ventiler Approver



REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

SITE No: P6MOOR003 MOORA

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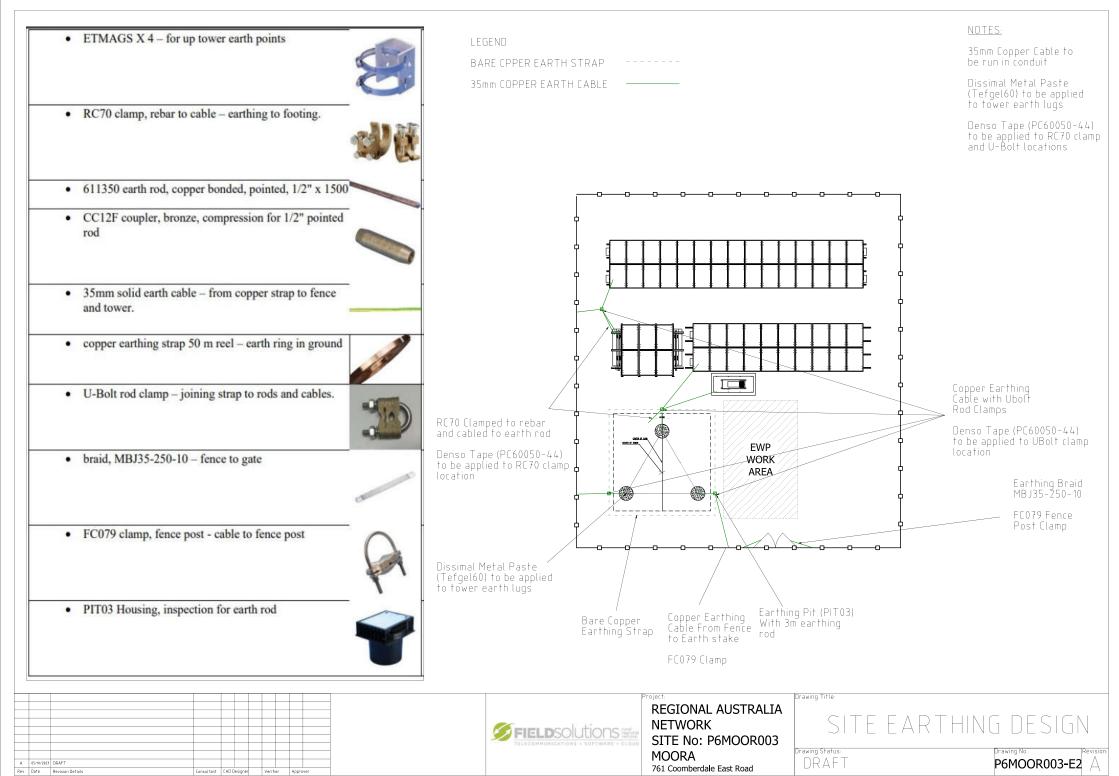
Drawing Tit

ELECTRICAL DESIGN

Drawing Status:

DRAFT

P6MOOR003-E1



DO NOT SCALE

#### **ELECTRICAL SLD FOR BATTERY CABINET**

REFER TO ELTEK DRAWING SCH-CTEBB0444,1003 FILENAME: SCH-CTEBB0444.1003-Battery Cabinet.pdf

#### **ELECTRICAL SLD FOR HYBRID POWER SYSTEM**

REFER TO ELTEK DRAWING SCH-CTE30844,4032 FILENAME: SCH-CTE30844.4032-Hybrid Power System.pdf

## **ELECTRICAL SLD FOR DISTRIBUTION CABINET**

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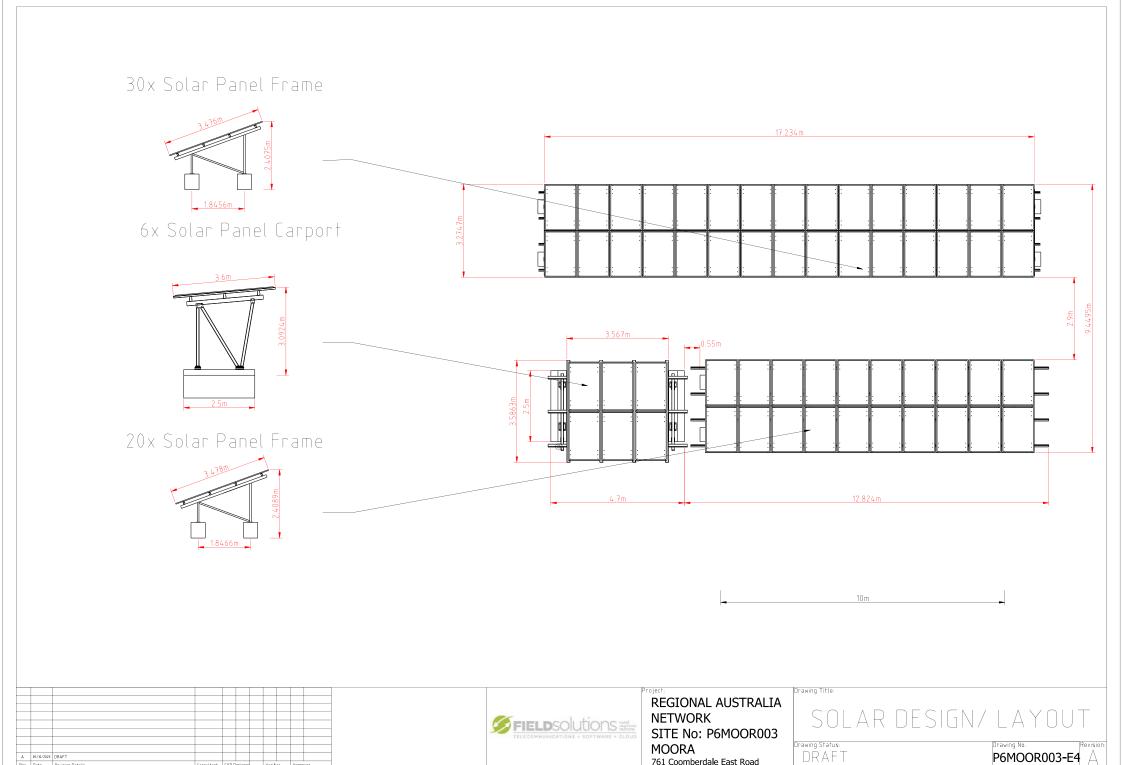
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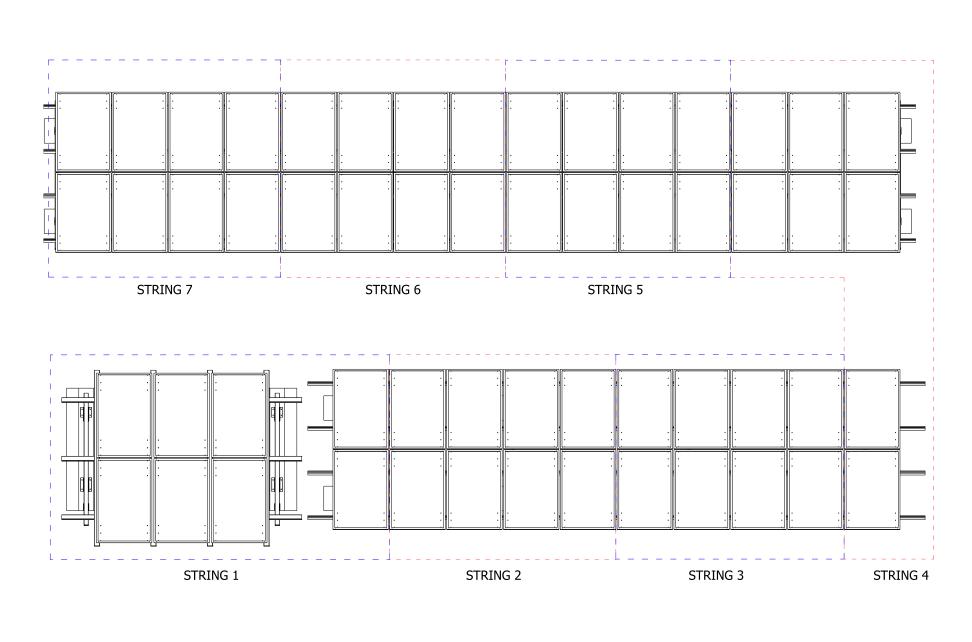
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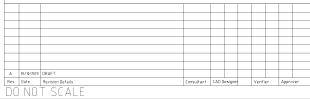
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761 Coomberdale East Road

Rev Date Revision Details







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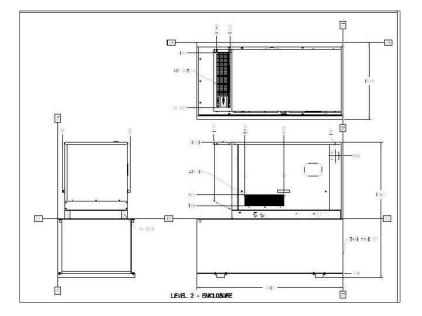
761 Coomberdale East Road

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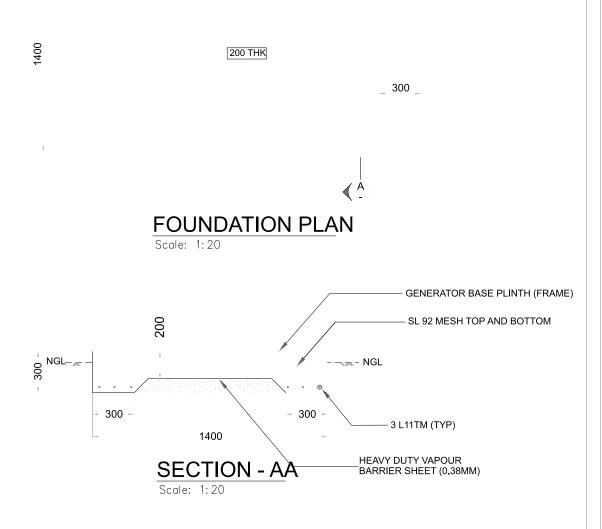
P6MOOR003-E5 △

REFER TO DOCUMENT: SLAB DRAWING GENF-S100.pdf

Quantity of material for	0.75 m³per
slab	foundation



## **GENERATOR ENCLOSURE INFORMATION**



2500

A es/no/2023 DRAFT

Rev Date Revision Details Consultant CAD Designer Verifier Approver



REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

SITE No: P6MOOR003 MOORA

MOORA

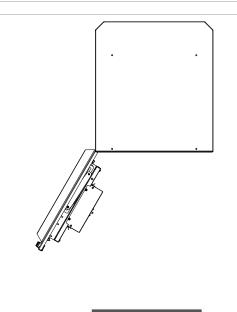
761 Coomberdale East Road

GENERATOR DESIGN

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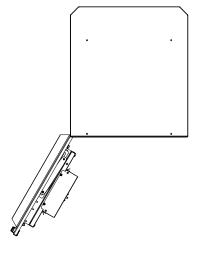
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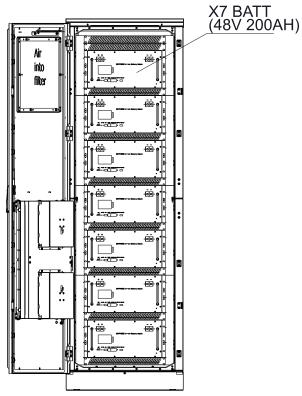
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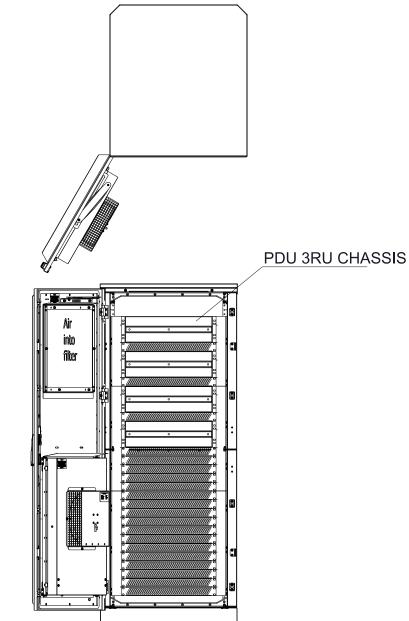


GA FP2 48V 12+16KW 230V+N SPD BD LD T3 FF





GA X7 BATT SYSEM OD T3 FF





REGIONAL AUSTRALIA **NETWORK** SITE No: P6MOOR003

MOORA 761 Coomberdale East Road

Drawing Status:

DRAFT

DIST CAB T3 FF 1.5M 28RU

P6MOOR003-F1

45		45
45		45
43	V.00	43
42	Power Core	42
41	TOWER COIL	
40	W W	41
39	Power Flatpack	39
38	201 - 2200 - 2	38
37	Power Flatpack	37
36	Airgap	36
35	0	35
34	Solar PDU	34
33		33
32	Solar PDU	32
31	Airgap	31
30	Airgap	30
29	Airgap	29
28	Airgap	28
27	Airgap	27
26	Airgap	26
25	Airgap	25
24	Airgap	24
23	Airgap	23
22	Airgap	22
21	Airgap	21
20	Airgap	20
19	Airgap	19
18	Airgap	18
17	Airgap	17
16	Airgap	16
15	Airgap	15
14	Airgap	14
13	Airgap	13
12	(0.000)	12
11		11
10	48v/200AH Battery	10
9		9
8		8
7	Airgap	7
6		6
5	400000000000000000000000000000000000000	5
4	48v/200AH Battery	4
3	is i, 25 Air battery	
2		2
1	Airgap	1

45		45
44	Airgap	44
43	Airgap	43
42		42
41		41
40	48v/200AH Battery	40
39		39
38		38
37	Airgap	37
36	200,000	36
35		35
34	48v/200AH Battery	34
33		33
32		32
31	Airgap	31
30		30
29		29
28	48v/200AH Battery	28
27		27
26		26
25	Airgap	25
24		24
23	6	23
22	48v/200AH Battery	22
21		21
20		20
19	Airgap	19
18		18
17		17
16	48v/200AH Battery	16
15		15
14	W(252) 3 (3 H)	14
13	Airgap	13
12		12
11	40. /2004   12.44	11
10	48v/200AH Battery	10
9		9
8		8
7	Airgap	7
6		6
5	491/2004 H Pattan	5
4	48v/200AH Battery	4
3		3
1 Airgap		2
1	Airgap	1

34		34
33		33
32		32
31	PDU Rail	31
30		30
29	Airgap	29
28	76-30	28
27	PDU Rail	27
26		26
25	Airgap	25
24	Alarms Panel	24
23	Airgap	23
22	FMAB/ FSEE	22
21	Airgap	21
20	Fibre FOBOT	20
19	Fibre Storage Tray	19
18	Airgap	18
17	Cell Site Router	17
16	Airgap	16
15	Switch	15
14	Airgap	14
13		13
12	Nokia BBU	12
11		11
10	Shelf	10
9	Airgap	9
8	Airgap	8
7	Airgap	7
6	Airgap	6
5	Airgap	5
4	Airgap	4
3	Airgap	3
2	Airgap	2
1	Airgap	1

DIST CAB T3 FF 1.5M 28RU

GA FP2 48V 12+16KW 230V +N SPD BD LD T3 FF

A 05/10/2023 DRAFT
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GA X7 BATT SYSTEM OD T3 FF

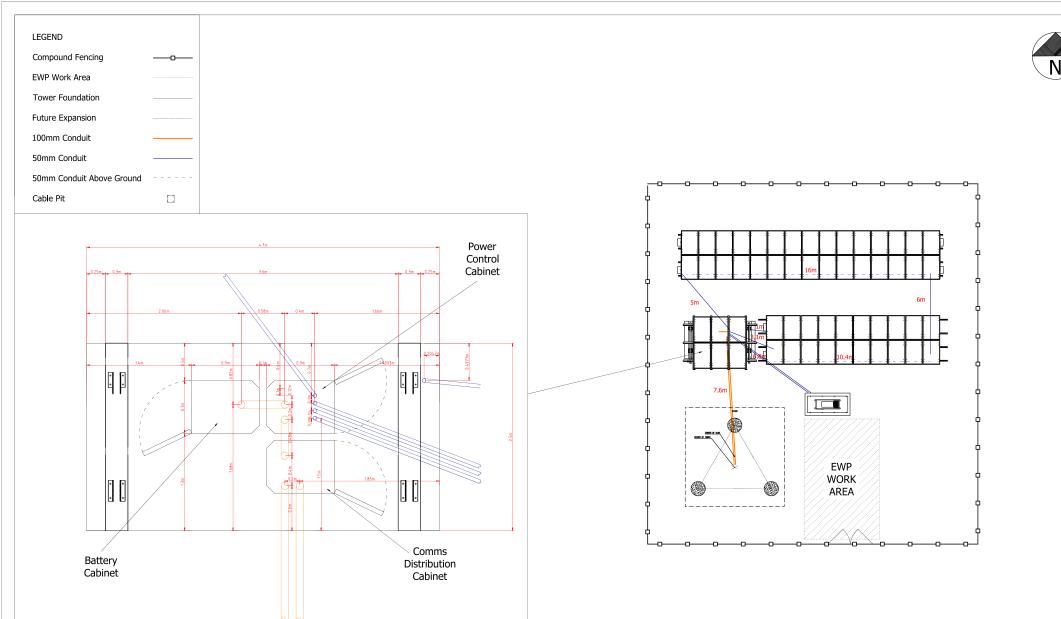


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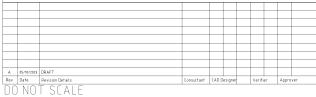
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Drawing Status:
DRAFT 761 Coomberdale East Road

P6MOOR003-F2



**ODU Slab Cutaway** 5:1 Scale





REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

MOORA 761 Coomberdale East Road

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P6MOOR003-F3

TO BE COMPLETED

A 05/10/2023 DRAFT
Rev Date Revision Details
DO NOT SCALE



REGIONAL AUSTRALIA **NETWORK** SITE No: P6MOOR003

MOORA

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LEASE DOCUMENT

Drawing Status: DRAFT

P6MOOR003-L1

TO BE COMPLETED



REGIONAL AUSTRALIA **NETWORK** SITE No: P6MOOR003

MOORA

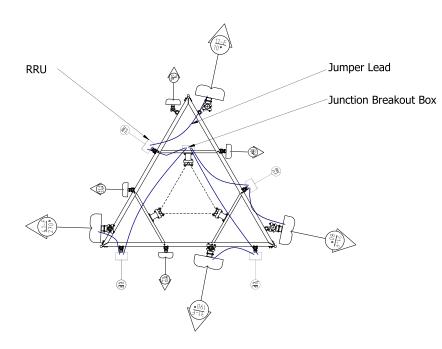
761 Coomberdale East Road

LEASE PLAN

Drawing Status: DRAFT

P6MOOR003-L2





ANTENNAS PLAN

#### LEGEND:



#### NOTES:

- 1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH RF PLUMBING DIAGRAM DRAWING.
- 2. ANTENNA CO-ORDINATES ARE SPECIFIED FOR CENTRE OF EACH SECTOR, TO THE NEAREST METER

- 3. INFORMATION IN THE TABLES SUPPLIED AND VERIFIED BY FSG.
  4. ANCILLARIES REFER TO ITEMS AT OR NEAR THE ANTENNA.
  5. CO-AXIAL FEEDER AND TRUNK LENGTHS ARE ESTIMATED, ROUNDED UP TO
- 6. TOTAL TAIL LENGTHS FROM RRU TO ANTENNA WILL BE 5m MAXIMUM.

А	05/10/2023	DRAFT							
Rev	Date	Revision Details	Consultant	CAD Designer		Verifier		Approver	



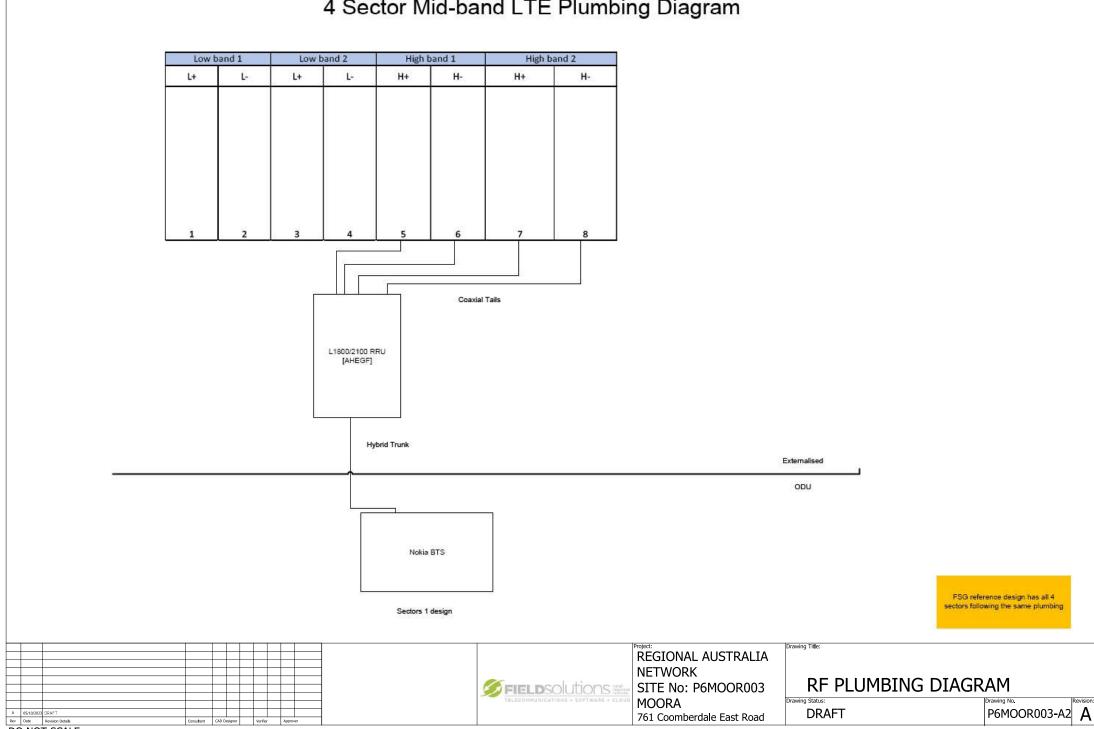
REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

MOORA 761 Coomberdale East Road PANEL ANTENNA AND TRANSMISSION CONFIGURATION

DRAFT

P6MOOR003-A1 A

## 4 Sector Mid-band LTE Plumbing Diagram



DO NOT SCALE

### 4 Sector Cambium Plumbing Diagram Sector 1 Sector 2 Sector 3 Sector 4 Cambium ePMP 3000 Cambium ePMP 3000 Cambium ePMP 3000 Cambium ePMP 3000 Sector Antenna Sector Antenna Sector Antenna Sector Antenna Jumper leads Jumper leads Jumper leads Jumper leads Cambium ePMP 3000 Cambium ePMP 3000 Cambium ePMP 3000 Cambium ePMP 3000 (Radio) (Radio) (Radio) (Radio) Use Data port (ETH) on Cambium Radio. ETH 1 ETH 2 ETH 3 ETH4 ◀ Do Not use Management port! CAT6 POE CAT6 POE CAT6 PoE CAT6 PoE Planet Switch (PoE) ETH 1, 2, 3, 4 REGIONAL AUSTRALIA NETWORK CAMBIUM RF PLUMBING DIAGRAM SITE No: P6MOOR003 MOORA DRAFT P6MOOR003-A3 A 761 Coomberdale East Road Rev Date Revision Details DO NOT SCALE

## REFERENCE GEOTECH REPORT DOCUMENT

1230154-1

FILENAME: 1230154-1 Tower - COOMBERDALE WA.pdf



REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

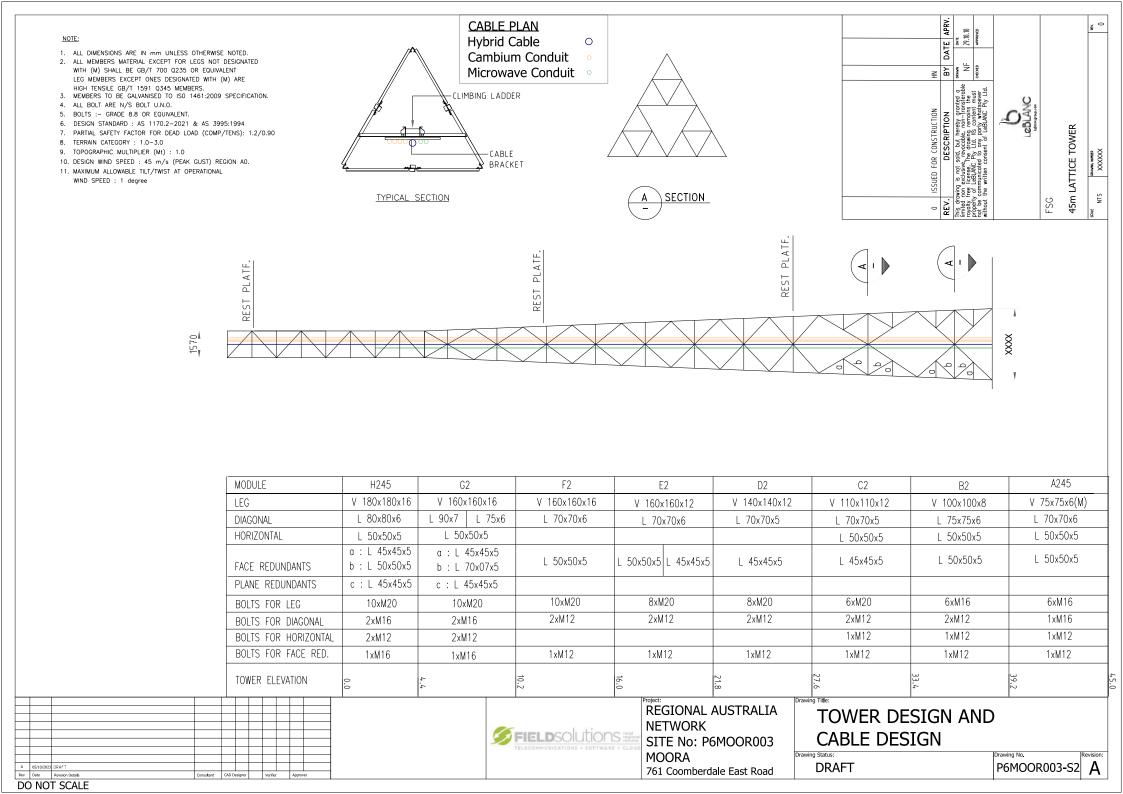
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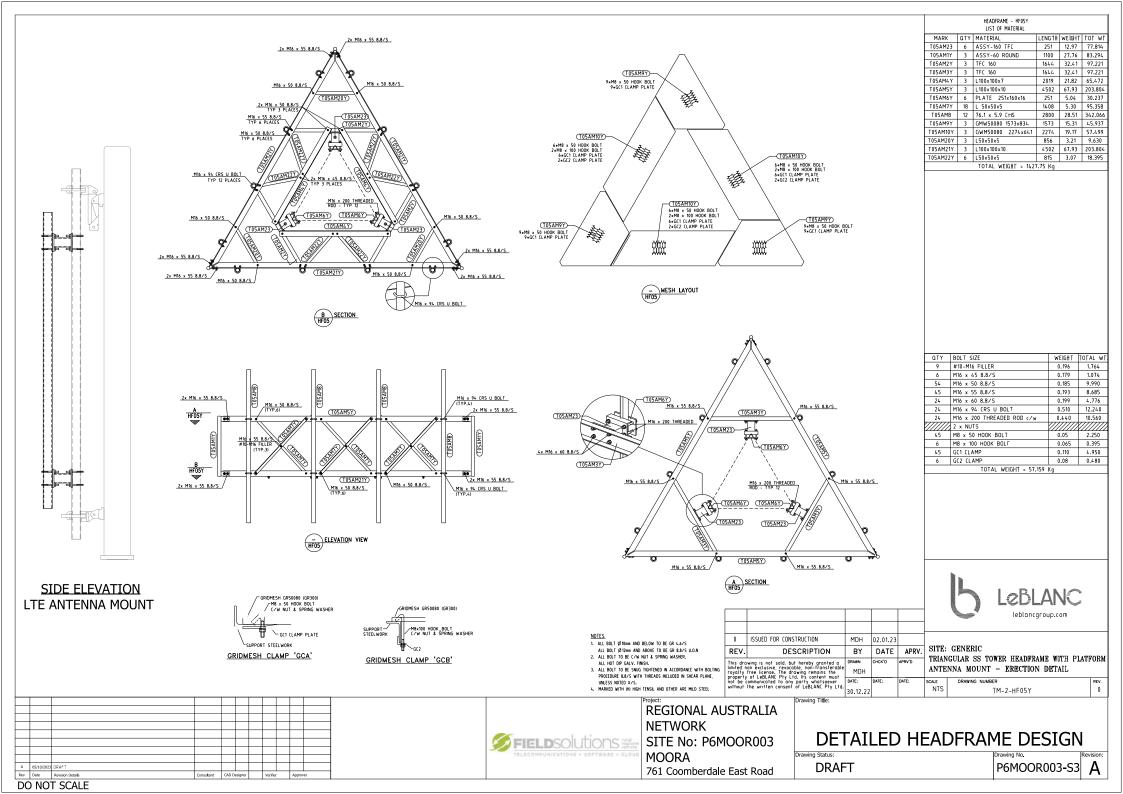
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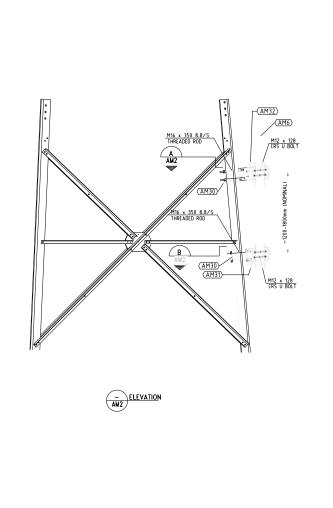
**GEOTECH REPORT** 

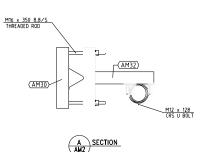
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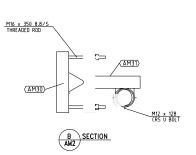
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\*\*\* THIS LEG MOUNT SUITABLE FOR BOTH TAPERED AND STRAIGHT TOWER SECTIONS

LR ZH N BY od a DRAWN erable ne nust DALI DATE:	22.05.15 11.02.15 DATE CHCK'D	APRV. APRV'D	sc
ZH N BY ed a DRAWN erable DALI	11.02.15 DATE		
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ZH	11.02.15	APRV.	
			_
LR	22.05.15		L
			.1
LR	14.09.20		1
AS	31.03.22		]

SDH MIEROWAVE LEG MOUNT LIST OF MATERIAL

		2-5- 01 1111-211112			
MARK	QTY	MATERIAL	LENGTH	WEIGHT	TOTAL WT
AM6	1	114.3 x 5.4 CHS	2000	32.00	32.00
AM30	2	180 PFC	375	7.84	15.68
AM31	1	ASSY - 180 PFC	375	14.09	14.09
AM32	1	ASSY - 180 PFC	436	15.77	15.77
		TOTAL WEIGHT :	- 77 54 K	n	

TY	BOLT SIZE	WEIGHT	TOTAL WT.				
4	M12 x 128 CRS U BOLT	0.3819	1.527				
8	M16 x 350 THREADED ROD	0.6837	5.470				
TOTAL WEIGHT = 7.00 Kg							

### INSTALLATION NOTES

1. LEG CLAMPS TO BE POSITIONED AS CLOSE AS POSSIBLE TO THE TOWER BRACING OR HORIZONTAL MEMBERS.



 ${\tt GENERIC}$ LATTICE TOWER LEG MOUNT
TYPE A - ERECTION DETAIL

SCALE NTS DRAWING NUMBER
TM-2-AM2

Rev Date Revision Details



REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

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761 Coomberdale East Road

DETAILED MICROWA	VE
MOUNT DESIGN	

Drawing Status: **DRAFT** 

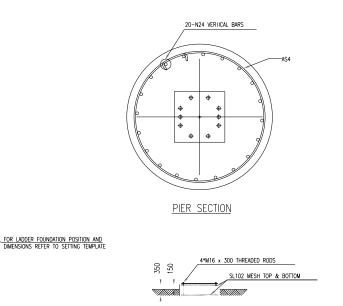
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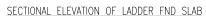
		TO
	AS1	AS:
	N24 @ 250mm	N24 @ 1
	BOTH WAYS	BOTH W
N	8 6500 E	<u>ام</u> 650

CENTER OF SLAB

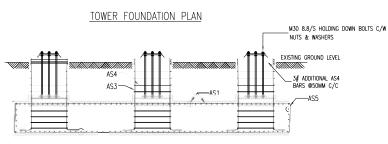
CENTER OF TOWER

TOWER FOUNDATION TABLE / FOUNDATION REINFORCEMENT						QUANTITY	TAKE-OFF	
AS1	AS2	AS3	AS4	AS5	CONCRETE	REBARS	EXCAVATION	
N24 @ 250mm	N24 @ 250mm	20-N24 VERT BARS	N12 @ 200mm	N16 @ 250mm	VOL.	WT.	BCM VOL.	VOL.
BOTH WAYS	BOTH WAYS	PER PEDESTAL	EACH LEVEL	EACH FACE	41.4 CU.M	3923 KG	87.1 CU.M	45.7 CU.M
o 6500 o	8 8	ΩI	200	6		0020 110	0711 001111	
5 3330	6500	<u>®</u> ∟ <sub>350</sub>	200 1100					





TYPICAL ANCHOR BOLT DETAIL





SECTIONAL ELEVATION



REGIONAL AUSTRALIA **NETWORK** SITE No: P6MOOR003

M30 8.8/S HOLDING DOWN BOLTS C/W

NUTS & WASHERS

TOWER BASE PLATE

75mm NON SHRINK GROUT

MOORA 761 Coomberdale East Road

# TOWER/MONOPOLE FOUNDATION FOOTING DESIGN

SITE:

DRAFT

. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE. 2. CONCRETE BASED ON CHARACTERISTIC COMPRESSIVE (CYLINDER) STRENGTH AT 28 DAYS OF MINIMUM 25.00 MPa ACCORDING TO AS3600-2018. NO STRUCTURE SHALL BE ERECTED ON THE FOUNDATION UNTIL THE

MINIMUM DESIGN STRENGTH HAS BEEN CONFIRMED AT 7 DAYS.

3. REINFORCING STEEL ACCORDING TO AS/NZS 4671-2019 GRADE 500

 ALLOWABLE UND BEARING PRESSURE = 210 IN/34, m.
 CONCRETE SUPPLY/TESTING SHALL BE AS PER:
 a. ASI012 - METHOD OF TESTING CONCRETE.
 b. ASI379-2007 - SPECIFICATION AND SUPPLY OF CONCRETE.
 BACKFILL MATERIALS SHALL BE PLACED ON 300mm LAYERS & COMPACTED. TO 95% OF THE MAX. DRY DENSITY IN ACCORDANCE WITH AS1289.5.2.1 3. CENERALLY THERE SHALL BE NO CONTACT BETWEEN REINFORCEMENT & ANCHOR BOLTS. HOWEVER, IF THERE IS ANY CONTACT, ISOLATION MATERIAL SUCH AS NEOPRENE MATERIAL IS TO BE INSERTED TO AVOID CORROSION.

NEOPRENE MATERIAL IS TO BE INSERTED TO AVOID CORROSON.

10. ANCHOR BOLIZT TO BE HOT-DPPED CALVANZED.

11. NO CONSTRUCTION JOINTS ARE ALLOWED, EXCEPT AT THE MIERFACE OF PAD AND CHAMPEY (SEE CONSTRUCTION) ADMITS MOTE BELOW].

12. ALL GROUT SHALL BE "75mm THICKNESS, NON-FERROUS & NON SHANK CROUT EDDES SHALL BE TAPEDED OF AT 475 DECREES OR VERTICAL.

13. THIS DRAWNON MUST BE FRAD IN CONJUNCTION WTH THE TOWER SETTING TEMPLATE FRANCE.

14. THE SPACING OF LIGATURE FROM THE FOP AND BOTTOM SHALL BE 50mm. 15. THE BASE EXCAVATION SHALL BE CLEAR OF LOOSE MATERIAL AND DEBRIS. PRIOR TO CONCRETING, THE REINFORCEMENT SHALL BE INSPECTED BY A COMPETENT PERSON FOR COMPLIANCE, CONFORMANCE AND APPROVAL.

. WATER SHALL NOT BE ALLOWED TO POND IN FOOTING FOR ANY LENGTH

 GEOTECHNICAL REPORT NO. 1221900-1 BY CMUTEST DATED 30/01/2023. 20. THIS FOUNDATION HAS BEEN DESIGNED ASSUMING THE BOREHOLE START LEVEL

. PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE LOCATION IS CLEAR OF ALL UNDERGROUND SERVICES. 2. THE TEMPERATURE DIFFERENTIAL ACROSS THE CROSS-SECTION OF THE CONCRETE MEMBER BEING CONSTRUCTED SHALL NOT EXCEED VALUES BASED ON THE COARSE AGGREGATE USED N THE CONCRETE OF: 28°C FOR GRANITE, 32°C FOR BASALT AND 35°C FOR LIMESTONE UNFIL THE IN-SIFU

MATURITY EXCEEDS 3 DAYS. A CONCRETE CRACK ASSESSMENT ANALYSIS CAN BE USED TO JUSTIFY HIGHER VALUES OF DIFFERENT COARSE AGGREGATE

ADDITIONAL NOTES . AT ALL CONSTRUCTION JOINTS, ALL LAITANCE SHALL BE THOROUGHLY REMOVED TO FULLY EXPOSE THE COARSE AGGREGATE MATRIX AND THE JOINT THOROUGHLY

CLEANED AND WETTED PRIOR TO THE PLACEMENT OF

ISSUED FOR CONSTRUCTION

DESCRIPTION

ABUTTING CONCRETE.

 CONCRETE CURING SHALL BE AS PER AS 3600-2018. 19. THIS DRAWING MUST BE READ IN CONJUNCTION WITH:

AND THE FINISHED GROUND LEVEL ARE THE SAME.

DEFORMED BARS.

I. MINIMUM CONCRETE COVER = 50mm. 5. UNIT WEIGHT OF DRY COMPACTED SOIL = 18 kN/cu.m. 6. ALLOWABLE END BEARING PRESSURE = 210 kN/sq.m.

P6MOOR003-S5 A

BY DATE APRV

ΗN

Rev Date Revision Details DO NOT SCALE

# **Solar Frame Design and Construction**

Refer to the following documents:

1.Clenergy-PV-ezRack-SolarTerrace-III-A-with-Concrete-Brochure-18022021-web.pdf

Clenergy-PV-ezRack-SolarTerrace-III-A-Double-Support-Datasheet-15022021.pdf

Clenergy-PV-ezRack-SolarTerrace-III-A-Installation-Guide-V3.2.pdf

SOLUTION1\_ DC\_LOAD\_6207W\_UPDATE20230518.pdf

			-						
Rev	Date	Revision Details	Consultant	CAD Designer		Verifie	r	Appro	er
А	05/10/2023	DRAFT							



REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

MOORA 761 Coomberdale East Road Drawing Title:

**SOLAR FRAME DESIGN** 

DRAFT

P6MOOR003-S6

SOLAR FRAME FOOTINGS/ ODU FOOTINGS

REFER TO THE FOLLOWING DOCUMENTS

OPTION 1 PIER (Preferred Option if NO Rocks Hit): Solar Footings - Pier Foundations OPTION 1.pdf

OPTION 2 STRIP (Alternate Option if Rocks Encountered): Solar Footings - Strip Foundations OPTION 2.pdf

Carport Drawing: Solar Footing GA Carport Type - SOLF-S201 rotate.pdf

# **Solar Frame Foundations Decision criteria**

The foundation type for solar frames will be a pier foundation if no rocks are identified during the foundation work for tower on site.

If rocks are present, the foundation type will be a strip foundation.

_	NOT COME									
Rev	Date	Revision Details	Consultant	CAD Designer		CAD Designer		Verifier		ver
А	05/10/2023	DRAFT								



**REGIONAL AUSTRALIA NETWORK** SITE No: P6MOOR003

MOORA 761 Coomberdale East Road SOLAR FRAME/ ODU FOUNDATION/ FOOTING DESIGN

DRAFT

P6MOOR003-S7

# REFER TO LEBLANC TOWER DRAWING STRUCTURAL ASSESSMENT REPORT

XXXX Rev.0 PAGE 1 - PAGE 7

FILENAME: XXXXX.pdf

REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

MOORA

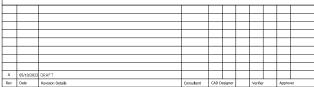
761 Coomberdale East Road

TOWER DESIGN CERTIFICATION

DRAFT

P6MOOR003-S8 A

TO BE COMPLETED





REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

MOORA

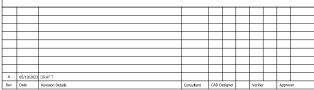
761 Coomberdale East Road

**HEADFRAME DESIGN CERTIFICATION** 

DRAFT

P6MOOR003-S9 **A** 

TO BE COMPLETED





REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

| SITE No: P6MOOR003 | MOORA

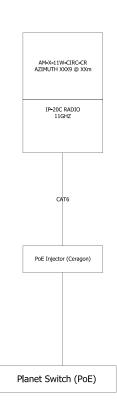
761 Coomberdale East Road

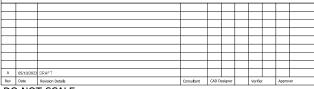
MICROWAVE MOUNT
DESIGN CERTIFICTION

DRAFT

P6MOOR003-S10 Revision:

# CERAGON MICROWAVE BACKHAUL







REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003

MOORA
761 Coomberdale East Road

TRANSMISSION
PLUMBING DIAGRAM

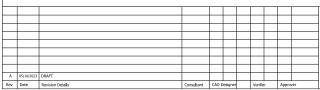
DRAFT

P6MOOR003-T1

# **MERCS SIGNAGE**

SIGN NAME	SYMBOL	SIGN IMAGE	SIZE / MATERIAL	LOCATION	FIXING METHOD
MERCS-1 (RF HAZARD AREA SIGN)	⟨S1⟩	RP Hazard Aren Beyond this Point count in transpured test count in transpured test country for the transpured country for the transpured test country for	400H x 350W METAL OR SELF ADHESIVE 200H x 175W METAL OR SELF ADHESIVE	EWP ACCESS ONLY. CONSULT SAE FOR ANY COMMUNITY SENSITIVITIES.  SAFETY CHAINS, BALLARD, SHROUDS ETC).  RESERVES ETC.  SYSTEM).	CENTRE OF SIGN TO BE 1500mm ABOVE FLOOR LEVEL AND 400mm FROM DOOR EDGE. AFFIXED VIA SCREW-FIXED, RIVETED OR SELF-ADHESIVE.  CENTRE OF SIGN TO BE 1500mm ABOVE BASE OF MONDPOLE. AFFIXED VIA STEEL STRAPS OR WEATHERPROOF ADHESIV CENTRE OF SIGN TO BE 1500mm ABOVE BASE OF TOWER LEG. AFFIXED VIA STEEL STRAPS (NOT OBSCURING SIGN OR SCREWED) TO STEEL BRACKET.  CENTRE OF SIGN TO BE AT LEAST 3M BELOW ANTENNAS OR DISHES AND MIN. 5M ABOVE THE BASE OF THE STRUCTUR ONE SIGN PER CLIMBING ACCESS POINT.
MERCS-2 (MCF INFORMATION SIGN)	\$2	This is a felecommunications facility. For information about this site visit owner first coming or contact the facility manager NSA Site Number:	180H x 250W METAL	ON ALL TOWER AND MONOPOLE FACILITIES - FIXED TO SITE ACCESS GATES.  MAY BE INSTALLED ON ROOFTOP ACCESS DOORS THAT ARE NOT RESTRICTED ACCESS (i.e. DOORS THAT DO NOT HAVE MERCS-1 SIGNAGE INSTALLED).	CENTRE OF SIGN TO BE 1500mm ABOVE GROUND LEVEL AND 400mm FROM PADLOCK SIDE OF DOUBLE ACCESS GATES.  SIGN TO BE FIXED VIA STAINLESS STEEL OR CORROSION RESISTANT CABLE TIES.
MERCS-3 (GENERAL PUBLIC RF HAZARD SIGN)	\$3	Garanti Palaki SV (Baser) Bancatory Regard this parts Bancatory Regard this parts Street of Parts Street of Parts	400H x 350W METAL OR SELF ADHESIVE 200H x 175W METAL OR SELF ADHESIVE	NEAR AREAS THAT EXCEED PUBLIC EXPOSURE LIMITS IN A CONTROLLED AREA (e.g. WALKWAYS PASSING IN FRONT OF TRANSMITTING ANTENNAS OR DISHES). IF BARRIERS ARE REQUIRED, LOCATION OF BARRIERS (E.G. CHAINS) AND SIGN TO BE SHOWN ON FC DRAWING, NEED OWNER APPROVAL FOR THE BARRIERS.	SIGN TO BE INSTALLED AT ENTRY POINT TO CONTROLLED AREAS (ESPECIALLY ON LARGE ROOFTOPS WITH MULTIPLE ACCESS POINTS OR POOR ACCESS RESTRICTION) - ON HANDRAIL, SAFETY CHAIN, BALLARD, SHROUD OR WALL. SIGN TO BE FIXED VIA FIXING SCREWS OR WEATHERPROOF ADHESIVE.
MERCS-4 (OCCUPATIONAL RF HAZARD SIGN)	\$4		400H x 350W METAL OR SELF ADHESIVE  200H x 175W METAL OR SELF ADHESIVE	NEAR AREAS THAT EXCEED OCCUPATIONAL EXPOSURE LIMITS IN A CONTROLLED AREA (e.g. EME EXCLUSION ZONES ON GROUND WITHIN COMPOUNDS OR ON STRUCTURES CAUSED BY TRANSMITTERS NEARBY).  IF BARRIERS ARE REQUIRED, LOCATION OF BARRIERS (E.G. CHAINS) AND SIGN TO BE SHOWN ON FC DRAWING. NEED OWNER APPROVAL FOR THE BARRIERS.	SIGN TO BE INSTALLED AT ENTRY POINT TO CONTROLLED AREAS (EITHER SIDE OF CLIMBING BARRIERS ON STRUCTURES OR ON SMALL DIAMETER FREE-STANDING POLE ON GROUND EITHER SIDE OF EXCLUSION ZONES). SIGNAGE ON STRUCTURES IS NOT TO IMPEDE OPERATION OF FALL ARREST SYSTEM. SIGN TO BE FIXED VIA SCREWS, RIVETS OR STEEL STRAPS.
MERCS-5 (TRANSMITTING ANTENNA SIGN)	\$5		100 x 100 x 100 SELF ADHESIVE 200 x 200 x 200 METAL	REQUIRE ON BACK OF EACH PANEL ANTENNAS ON ROOFTOP SHARED FACILITY.  ALTERNATIVELY INSTALL SIGNAGE FOR NON-EME AWARE ROOFTOP WORKERS WHERE THEY MAY INADVERTENTLY ACCESS AN EME OVERHEAD HAZARD ZONE ON FOOT, OR VIA ACCESS LADDER, EWP ETC.	CENTRE OF SIGN TO BE INSTALLED ON REAR OF PANEL ANTENNAS AND AT BASE OF OMNI ANTENNA MOUNTS, PREFERABLY 1500mm ABOVE NORMAL ACCESS (ROOF) LEVEL.  SIGN TO BE SELF-ADHESIVE TO BACK OF PANEL ANTENNAS.  SIGN TO BE INSTALLED MOUNTING POLE OF ANTENNA SO THAT IT'S VISIBLE FROM NORMAL ACCESS (ROOF) LEVEL (e.g. ROOF EDGES IN THE VICINITY OF TRANSMITTING ANTENNAS OR DISHES INSTALLED ABOVE).  SIGN TO BE FIXED VIA SCREWS OR RIVETS TO MOUNTING POLES OF PANEL ANTENNAS.
MERCS-6 (TRANSMITTING MICROWAVE SIGN)	<b>S</b> 6	Transmitting Antenna RF hazard zone incide dish	110H x 200W SELF ADHESIVE 55H x 100W SELF ADHESIVE	REQUIRED ON ALL ROOFTOP SHARED FACILITIES TO IDENTIFY LOW POWER TRANSMITTING MICROWAVE ANTENNAS (DISHES). THESE TRANSMITTERS EME EXCLUSION ZONES ARE CONTAINED WITHIN THE DIAMETER OF THE ANTENNA (I.e TRANSMIT LINEALLY FROM WITHIN).	SIGN TO BE INSTALLED AT REAR OF DISH HEAD UNIT OR RADIO UNIT FACING IN THE DIRECTION FROM WHICH RODOP VISITOR WOULD MOST LIKELY APPROACH. SIGNAGE SHOULD NOT IMPEDE DISH OPERATION OR COOLING.  DO NOT INSTALL SIGNAGE ON FRONT OF DISHES.  THIS SIGNAGE DOES NOT APPLY TO GRIDPAK ANTENNAS.

THIS TABLE IS BASED ON MOBILE CARRIERS FORUM (MCF) DOCUMENT 'FACILITY RF EME SIGNAGE - 7.1.01 PREFERRED SITE SIGNAGE' AND COMPLIES WITH ARPANSA'S RADIATION PROTECTION STANDARD (RPS3) [1]





REGIONAL AUSTRALIA NETWORK SITE No: P6MOOR003 MOORA

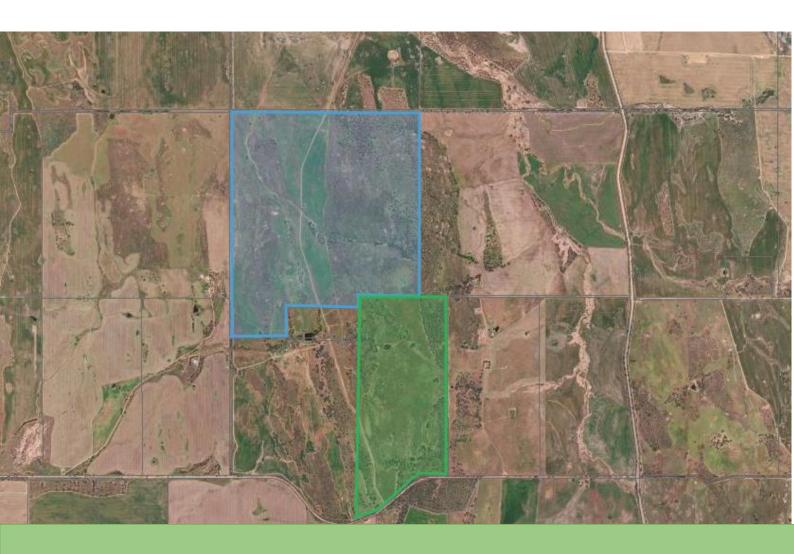
761 Coomberdale East Road

**DRAFT** 

FSG EME SAFETY SIGNAGE REQUIREMENTS

P6MOOR003-Z1





# **PLANNING REPORT**

Development Application for Telecommunications Facility

Lot 557 & 561 on Plan 3005

761 Coomberdale East Road, Moora WA 6512

15 November 2023



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# **LIST OF ATTACHMENTS**

Attachment	Document
1	Development Approval Form
2	Owner's Consent
3	Certificate of Title
4	Survey Plan
5	FSG Design Drawings

# **Document Control:**

Version	Description	Author	Date
1.0	Final	AL	15/11/2023



### 1 EXECUTIVE SUMMARY

# 1.1 INTRODUCTION

We submit a Development Application for Council approval for a Telecommunications Facility over the subject land.

Field Solutions Group provides wireless broadband internet and mobile network services to regional and remote areas across Australia. A telecommunications facility for wireless broadband and mobile networks is proposed and will be part of a wide network to be located throughout the region under the Federal Government's Regional Connectivity Program.

The subject land, being Lot M557 & M561 on Plan 3005, is located at 761 Coomberdale East Road, Moora WA 6512,

This development application is made in accordance with the *Planning and Development Act 2005* for assessment under the *Shire of Moora Local Planning Scheme No. 4*. The subject land is located in the General Agriculture Zone and, under the Zoning Table, a Telecommunications Facility in the General Agriculture Zone is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions.

To assist with the processing of the application, we have set out below details of the proposal and supporting information.

# 1.2 SUMMARY

### **Table 1: Summary**

Address of Subject Land	761 Coomberdale East Road, Moora WA 6512
Real Property Description	Lot M557 & M561 on Plan 3005
Area of Subject Land	4162191.81m <sup>2</sup>
Existing buildings	No Existing Buildings
Road frontages	Coomberdale East Road
Zone	General Agriculture
Overlays	Bushfire Prone Area, Native Vegetation
Name of Landowner	Kim Steven Topham & Michael David Topham
Easements/Encumbrances	None



# SITE LOCATION AND DESCRIPTION

#### 2.1 SUBJECT LAND

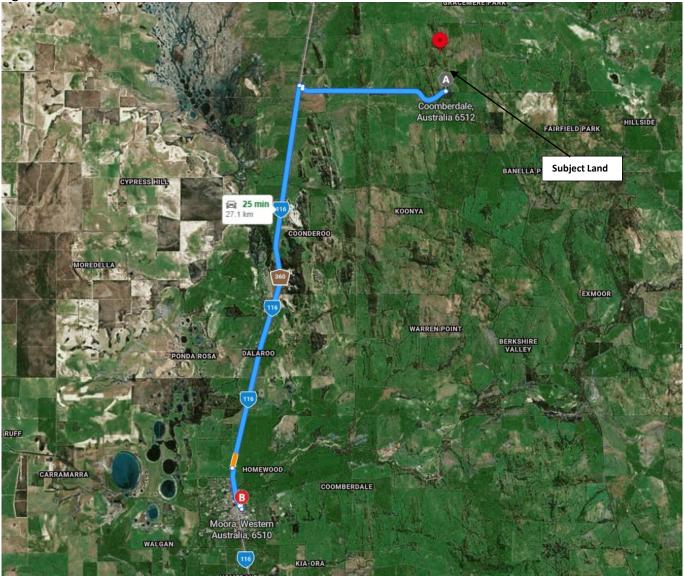
The subject land, being lots M557 and M561 on Plan 3005, known as 761 Coomberdale East Road is located approximately 27.1km North-East of Moora Post Office. Please refer to Figure 1 below for location of the subject land.

The subject land is identified as being located within the General Agriculture Zone according to Local Planning Scheme Map No. 1 of 8.

M561 on Plan 3005 has road frontage and access to Coomberdale East Road.

Surrounding land uses are rural in nature.

Figure 1: Site Location

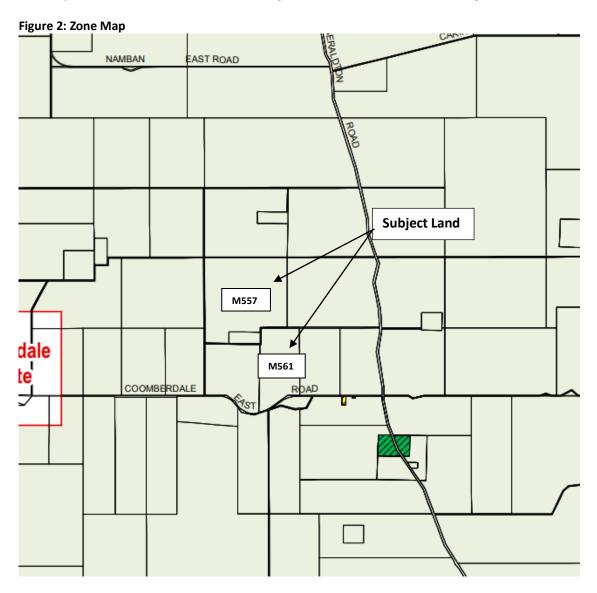


Source | Google Maps



# 2.2 ADJOINING AND SURROUNDING DEVELOPMENT

The subject land is located in the General Agriculture zone. Please refer to Figure 2 below.



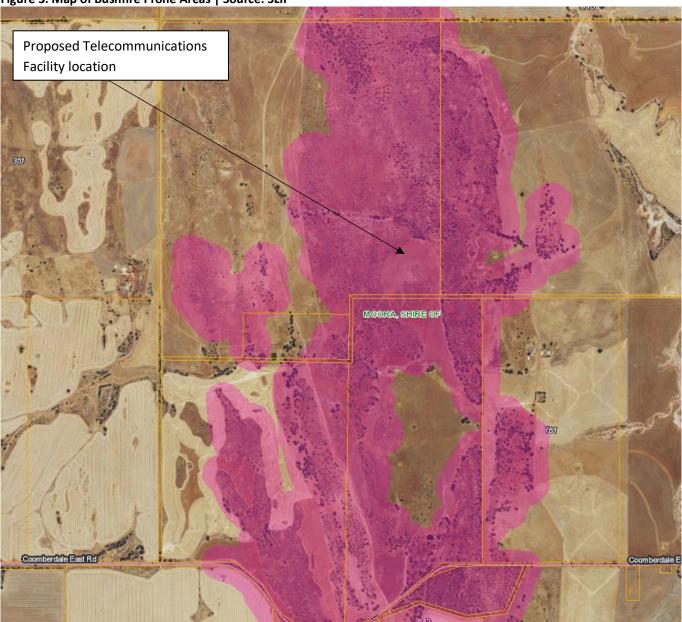
#### LOCAL SCHEME ZONES Development Special Mix Residential General Agriculture Special Use Industrial В Special Use: Builder Light Industrial CP Special Use : Caravan Park Residential LS Special Use : Local Shop Rural Enterprise MGC Special Use : Moora Golf Club Rural Residential Special Use: Motor Repair Rural Smallholding Special Use : Private School Rural Townsite Town Centre



#### 2.3 OVERLAYS

The subject land is affected by the following overlay.

Figure 3: Map of Bushfire Prone Areas | Source: SLIP



The subject land is affected by the Native Vegetation Extent Overlay. The proposed location of the telecommunications facility is outlined in figure 4 and 5, which indicates the development site will be located outside the native vegetation overlay, thus no clearing of mature vegetation is required.



Figure 4: Mapping of Native Vegetation Extent Overlay

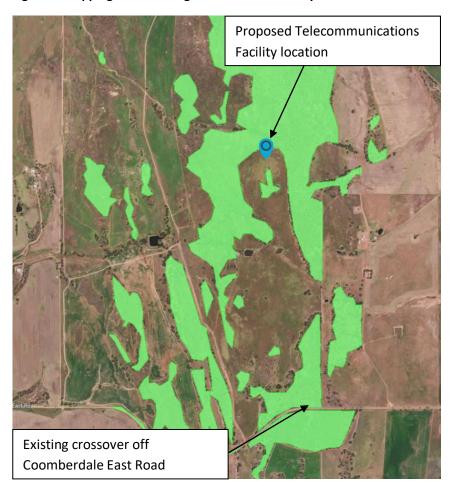


Figure 5: Distance to Native Vegetation Extent Overlay





### PROPOSED DEVELOPMENT

FSG wish to obtain development consent for a telecommunications facility to be located on the subject land. The telecommunication facility will be located on M557 on Plan 3005 and the site will be accessed via M561 on Plan 3005, which has frontage to Coomberdale East Road.

# 3.1 PROPOSED TELECOMMUNICATIONS FACILITY

The proposed development is for a telecommunications facility consisting of:

- 45m telecommunications tower
- Antennas and radiocommunications equipment
- Outdoor ground equipment cabinets
- Security fencing around the proposed facility
- Solar power system

During construction, the components of the tower, fencing and other items will be delivered on a heavy rigid or articulated vehicle. Minor scouring of the site and excavation for footings will be required prior to a concrete base and footings being poured. The tower will then be constructed and fencing and other infrastructure put in place to secure the facility once construction is complete.

The new tower will be located in the north eastern corner of the subject land as shown on the Site Plan in **Attachment 5**. The compound will occupy an area of about 900m<sup>2</sup> and will be fully fenced.

Figure 6: Example of Proposed Telecommunications Facility





Figure 7: Example of a 4-Bay Outdoor Ground Equipment Cabinet





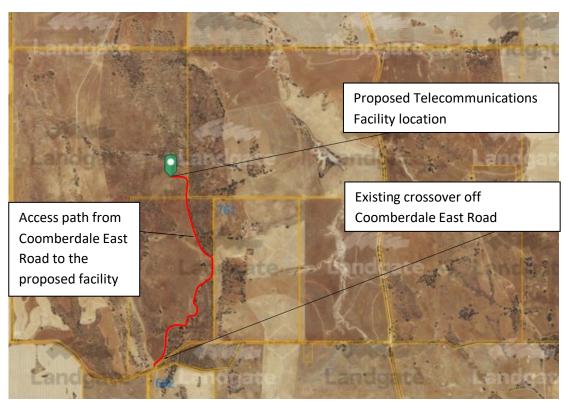
# 3.2 ACCESS, TRAFFIC AND PARKING

Access to the site will be via an existing gravel crossover and access driveway from Coomberdale East Road to the subject site.

Access to the site by the applicant will be infrequent and will be required for initial construction and then approximately once a year for maintenance. It is expected that the maximum vehicle size visiting the site will be a medium rigid vehicle.

It is not proposed to formalise parking spaces given the infrequent access required to the site.

Figure 8: Access to the site from Coomberdale East Road





# 3.3 SERVICES

The telecommunications tower does not have a large footprint and does not create stormwater runoff. Given the tower will be surrounded by a pervious surface, a stormwater management plan has not been prepared.

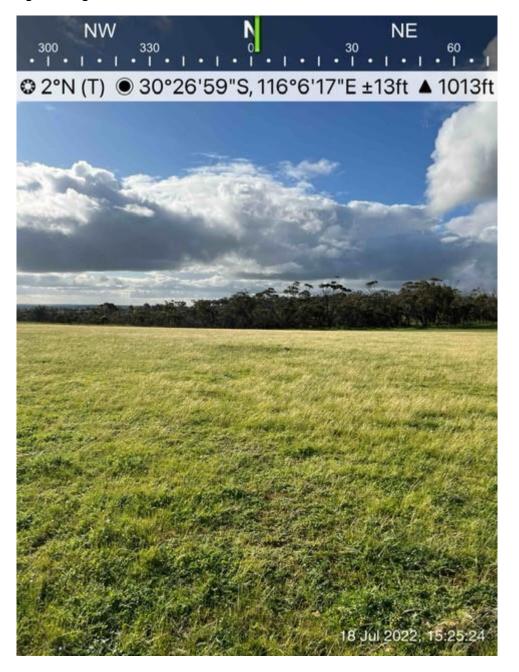
The telecommunications tower does not need to be connected to a water supply or require effluent disposal.

Electricity will be provided by way of a solar power system.

# 3.4 LANDSCAPING

Given the rural nature of the area, it is not proposed to provide additional landscaping.

Figure 9: Vegetation at the site location





# 3.5 WASTE

Once construction is complete, the telecommunications facility will not generate waste and it is not proposed to provide bins.

All construction waste will be removed from the site by contractors.

#### 3.6 CULTURAL HERITAGE

A search of the Aboriginal Cultural Heritage Inquiry System shows that there is no know aboriginal cultural heritage in the vicinity. FSG and its contractors understand the importance of aboriginal artefacts and will take all reasonable and practicable measures to ensure the activity does not harm cultural heritage if anything is found.



### 4 LEGISLATIVE MATTERS

### 4.1 PLANNING AND DEVELOPMENT ACT 2005

The *Planning and Development Act 2005* is the overriding legislation for this Development Application. Compliance with the Act and any subordinate legislation will be demonstrated and where any conflict exists with compliance, sufficient justification will be provided.

# 4.2 STATE PLANNING POLICY 5.2 – TELECOMMUNICATIONS INFRASTRUCTURE

The intent of State Planning Policy 5.2 – Telecommunications Infrastructure is to "balance the need for effective telecommunications services and effective roll-out of networks, with the community interest in protecting the visual character of local areas".

As stated in the Policy, adequate and reliable telecommunications are essential for all aspects of contemporary community life, from supporting the State's economy to creating and maintaining connected and cohesive social networks. Contact between emergency services and the community increasingly relies on the telecommunications networks. The importance of telecommunications services in Western Australia is recognised in the Western Australian Planning Commission's (WAPC's) State Planning Strategy 2050 (2014), which advocates for the provision of an effective state-wide telecommunications network. This network includes both above and below ground infrastructure to support both fixed line and wireless telecommunications.

The proposed development provides a mobile phone service to a known black spot area and a wireless broadband network through line-of-site towers, thereby complying with the intent of the Policy.

Therefore, the proposal is consistent with the principles set out in the Policy and can be balanced with the need for effective telecommunications services.

# 4.3 STATE PLANNING POLICY 3.7 – PLANNING IN BUSHFIRE PRONE AREAS

Part of the subject land, and the location of the proposed telecommunications facility, has been identified in the SLIP mapping as being within a Bushfire Prone Area, as shown in Figure 3 above.

The intent of the SPP is "to implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure." While the proposed facility is located in a bushfire prone area, the development does not result in an increase of residents or employees, nor does it increase the bushfire threat.

We have made an assessment of the proposed development and confirm that the proposed development mitigates bushfire hazard in the following ways:

- Essential ground equipment will be housed inside a metal outdoor ground unit, thereby protecting infrastructure from potential bushfire threats;
- The tower structure is designed to withstand 40kWm<sup>2</sup> of radiant heat.
- The outdoor ground unit is expected to withstand ember penetration.
- Access to the site is free from vegetation.

We hope this satisfies any requirement for further reports particularly given the rural nature of the surrounding area.



# 4.4 MOBILE PHONE BASE STATION DEPLOYMENT INDUSTRY CODE

The Mobile Phone Base Station Deployment Industry Code C564:2020 (the Code) is designed to:

- allow the community and councils to have greater participation in decisions made by Carriers when deploying mobile phone base stations; and
- provide greater transparency to local community and councils when a Carrier is planning, selecting sites for, installing and operating Mobile Phone Radiocommunications Infrastructure.

The relevant provisions of the Code are addressed below:

Table 2: Mobile Phone Base Station Deployment Industry Code C564:2020 objectives

Objective		Solution
(a)	to apply a Precautionary Principle to the deployment of Mobile Phone Radiocommunications Infrastructure;	FSG has applied the Precautionary Principle in selection and design of the proposed site in accordance with Sections 4.1 and 4.2 of the Code. The precautionary principle has been applied in this case to ensure the best outcome for all stakeholders in terms of facility design, site selection, planning, community concerns and environmental concerns.
(b)	to provide best practice processes for demonstrating compliance with relevant exposure limits and the protection of the public;	An EME report will be generated to demonstrate compliance with the ARPANSA safety standard for general public exposure limits.
(c)	to ensure that the exposure of the community to EME is minimised;	The facility has been designed to operate well within ARPANSA safety standard for radio frequency exposure.
(d)	to ensure relevant stakeholders are informed, notified or consulted and engaged with before Mobile Phone Radiocommunications Infrastructure is constructed;	Consultation has been held with Council which resulted in positive feedback due to the benefit to the community of reliable wireless broadband and mobile network. Any relevant stakeholders will be notified during the community engagement stage of the development application.
(e)	to specify standards for consultation, information availability and presentation;	General information relating to this proposal will be available for members of the public on the Radio Frequency National Site Archive (RFNSA) website ( <a href="www.rfnsa.com.au">www.rfnsa.com.au</a> ). As the proposal requires Council determination, notification and consultation with relevant stakeholders will be undertaken during the community engagement stage of the development application.
(f)	to consider the impact on the wellbeing of the community, physical or otherwise, of Mobile Phone Radiocommunications Infrastructure; and	The proposed location for the facility has been selected to ensure that both coverage objectives are achieved whilst also carefully considering and balancing the appropriateness and proximity to community sensitive locations.



An EME report will be generated to demonstrate the applicant's most responsible approach to deployment and determine the levels of radio frequency exposure to the general public based on the ARPANSA safety standard.

The facility is designed to improve and provide reliable wireless broadband and mobile services to the surrounding community and, as a result, it is expected to have a positive impact on social and economic activity.

(g) to ensure Council and community views are incorporated into the Mobile Phone Radiocommunications Infrastructure site selection. Sites for telecommunications facilities are chosen for elevation, distance to other towers and ease of access. During the site selection process, the Shire of Moora requirements were also taken into account in terms of zone objectives, environmental considerations, visual amenity and emissions. It has been shown that, on balance, the site for the telecommunications facility is appropriately located.

# 4.5 SHIRE OF MOORA PLANNING SCHEME NO. 4

The proposed use will be assessed against the Shire of Moora Local Planning Scheme No. 4 (the Planning Scheme). The proposed development will demonstrate compliance with all requirements of the Planning Scheme and, where any conflict exists with compliance, sufficient justification will be provided.

The subject land is located in the General Agriculture Zone. The use is not specified within the Zoning table in the planning scheme, nor does it fall within the interpretation of a use, therefore the development must comply with s3.2.4. of the planning scheme which states that;

If the use of land for a particular purpose is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the interpretation of one of the use categories the local government may:

- a. determine that the use is consistent with the objectives and purposes of the particular zone and is therefore permitted; or
- b. determine that the proposed use may be consistent with the objectives and purposes of the zone and thereafter follow the 'A' advertising procedures of clause 64 of the deemed provisions in considering an application for developmental approval; or
- c. determine that the use is not consistent with the objectives and purposes of the particular zone and is therefore not permitted.

Section 64 of Schedule 2 Deemed provisions for local planning schemes of the *Planning and Development (Local Planning Schemes) Regulation 2015* requires advertising of complex applications for development approval. We note that the proposed telecommunications facility, while not a complex application, will require advertising due to the nature of the use.

We have addressed the proposal against the objectives of the General Agriculture Zone under Part 3 of the Planning Scheme as follows:

• To ensure the continuation of broad-hectare farming as the principal land use in the district and encouraging where appropriate the retention and expansion of agricultural activities.



<u>Response</u>: The proposed telecommunications facility will be located on part of the land that will not interfere with any rural pursuits on the subject land. It is not expected that the facility will impact the amenity of the locality given the location on the outskirts of town.

• To consider non-rural uses where they can be shown to be of benefit to the district and not detrimental to the natural resources or the environment.

<u>Response</u>: The proposed telecommunications facility is proposed to be located in an area of the property that will not affect the continuation of the rural use on the subject land. It is not proposed to clear mature vegetation on the property and the landscape will be maintained. The facility will allow for greater connection in the area. The facility will be of benefit to the district by providing wireless broadband internet and mobile network services to the surrounding area.

To allow for facilities for tourists and travellers, and for recreation uses.

Response: Not applicable



### CONCLUSION

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The proposal is for a telecommunications facility which will provide mobile phone and fixed wireless broadband networks to a remote and regional community.

The subject land is suitable for a telecommunications facility for the following reasons:

- The site has direct line of site to other proposed towers in the region;
- The site has good access and the development will not create a nuisance to traffic;
- The proposed development will not increase flood hazard;
- The proposed development will not increase bushfire hazard;
- The subject land has not been identified as containing Aboriginal artefacts;
- The proposed facility will not interfere with agricultural land;
- The facility has been designed to comply well within the mandated safety standards set out by the Australian Radiation Protection & Nuclear Safety Agency (ARPANSA) for EME exposure to the general public; and
- Likely impacts are low.

Therefore, Council can be confident in approving the telecommunications facility as it will satisfy an essential community need.

We trust the details of the Development Application set out above and attached are satisfactory.

Thank you for your consideration and please do not hesitate to contact the writer if further information is required.

**Yours Sincerely** 

Angus Lovell | Town Planner