

**SHIRE OF MOORA
LOCAL PLANNING SCHEME NO.4**



NOTICE OF PUBLIC ADVERTISEMENT OF PLANNING PROPOSAL

Planning and Development Act 2005
Shire of Moora

The local government has received an application to use and/or develop land for the following purpose and public comments are invited.

Land Details:

Lots M557 and M561 on Plan 3005 Coomberdale East Road, Coomberdale

Proposal:

Development of a proposed new 45 metre tower and various associated improvements on a 900 square metre portion of Lot M557, with access via Lot M561 and an unconstructed local road reserve, for telecommunications infrastructure purposes.

Details of the proposal are attached.

Comments on the proposal are now invited and can be emailed to shire@moora.wa.gov.au or posted to the Shire's Chief Executive Officer at PO Box 211 MOORA WA 6510 by no later than **Friday 5 January 2024**. All submissions must include the following information:

- Your name, address and contact telephone number;
- How your interests are affected; whether as a private citizen, on behalf of a company or other organisation, or as an owner or occupier of property;
- Address of property affected (if applicable); and
- Whether your submission is in support of, or objecting to the proposal and provide any arguments supporting your comments.

All submissions received may be made public at a Council meeting and included in a Council Agenda, which will be available on the Shire's website, unless a submission specifically requests otherwise.

Gavin Robins
Chief Executive Officer
Shire of Moora

1 December 2023

15 November 2023

The Shire of Moora
Town Planning
PO Box 211
Moora WA 6510

Dear Sir / Madam

RE: DEVELOPMENT APPLICATION FOR A TELECOMMUNICATIONS FACILITY
Lot M557 and M561 on Plan 3005
761 Coomberdale East Road, Moora WA 6512

We submit herewith a Development Application for a Telecommunications Facility over the above referenced land.

The proposed development will be located at 761 Coomberdale East Road, Moora WA 6512, further described as Lot M557 and M561 on Plan 3005 552.

This development application is made in accordance with the Planning and Development Act 2005 for assessment under the Shire of Moora Local Planning Scheme No. 4. The subject land is located in the General Agriculture Zone and, under the Zoning Table, a Telecommunications Facility in the General Agriculture Zone is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions.

Would Council please confirm the amount for the application fee, and we will pay by credit card?

We choose to lodge this application electronically and it would be appreciated if all correspondence to do with this application please be sent by email.

We trust the information provided is sufficient that the application will be properly made. If this is not the case, please contact the writer as a matter of urgency.

Yours Sincerely



Angus Lovell | Town Planner

SHIRE OF MOORA LOCAL PLANNING SCHEME NO.4



FORM 1 - APPLICATION FOR DEVELOPMENT APPROVAL

Owner Details

Name/s:

Kim Steven Topham & Michael David Topham

ABN (if applicable):

Postal Address: 761 Coomberdale East Road, Moora WA 6512

Postcode:

Work Phone:

Fax:

E-mail:

Home Phone:

tophambros@gmail.com

Mobile Phone: 0428 518 015

Contact Person for Correspondence:

Kim Topham

Signature:

Refer to Attached Owners Consent

Date:

15/11/2023

Signature:

Date:

NOTES:

- i) Use and attach a separate copy of this page where there are more than two (2) landowners.
- ii) The signature/s of all registered owner(s) as listed on the land's Certificate of Title is required. This application cannot proceed without the required signature/s. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62(2). Land owned by an incorporated body (i.e. a company) must be signed by:
 - 1 director of the company, accompanied by the company seal; or
 - 2 directors of the company; or
 - 1 director and 1 secretary of the company; or
 - 1 director if a sole proprietorship company.Print the full names and positions of company signatories underneath the signatures.
- iii) A copy of the Certificate of Title for all land the subject of this application must be provided and can be purchased through Landgate directly if required.
- iv) Development Applications relating to Unallocated Crown Land, Unmanaged Crown Reserves, land under management order to the Shire of Moora where the development is not consistent with the reserve's purpose, or is used for commercial purposes, or land which is subject to a lease issued under the Land Administration Act 1997 need to be referred to the Lands Division of the Department of Planning, Lands and Heritage for consideration and signing.

Applicant Details (if different from owner)

Name/s:

Field Solutions Group

Address:

38/23 Narabang Way Belrose NSW 2085

Postcode:

Work Phone: 0452 662 762 Home Phone: Mobile Phone:	Fax:	E-mail: angus.lovell@fieldsolutions-group.com
Contact Person for Correspondence: Angus Lovell		
Signature: 	Date: 15/11/2023	
<p>NOTES:</p> <p>i) Failure to provide a suitably completed development application form, a copy of the relevant Certificate/s of Title, sufficient plans and other supporting information and/or the correct application fee may result in the application being returned or placed on hold.</p> <p>ii) The application fee payable will be confirmed by the local government following receipt of the application. Processing of the application will not commence until the fee is paid in full.</p> <p>iii) As per Schedule 2 clause 64 of the Planning and Development (Local Planning Schemes) Regulations 2015 the information and plans provided with this application may be made available by the local government for public viewing in connection with the application.</p> <p>iv) If public advertising of the application is required by the local government an additional fee in accordance with the local government's adopted schedule of fees and charges will be payable by the applicant. Further processing of the application following completion of public advertising will not proceed until the additional fee is paid in full.</p> <p>v) The original of this application and supporting information and plans will be retained by the local government for its records and will not be returned to the applicant/landowner following final determination.</p>		
<p>Property Details</p> <p>NOTE: The details provided must match those shown on the relevant Certificate/s of Title.</p>		
Lot No: Lot 557 & 561 on Plan 3005	House/Street No: 761	Location No:
Survey Diagram or Plan No: P3005	Certificate of Title Volume No: 1989	Certificate of Title Folio No: 181
Title encumbrances (e.g. easements, restrictive covenants): NA		
Street name: Coombdale East Road	Suburb: Moora	
Nearest street intersection: Coombdale East Road / Old Geraldton Road		
<p>Proposed Development:</p> <p>Nature of development: <input type="checkbox"/> Works (New construction works with no change of land use) <input type="checkbox"/> Use (Change of use of land with no construction works) <input checked="" type="checkbox"/> Works and Use</p> <p>NOTE: If the proposal involves advertising signage the Additional Information for Development Approval for Advertisements form (i.e. a Form 2) must be completed and submitted with this application.</p>		
Is an exemption from development claimed for part of the development? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
If yes, is the exemption for: <input type="checkbox"/> Works <input type="checkbox"/> Use		

Description of proposed works and/or land use:

Telecommunications Facility

Description of exemption claimed (if relevant):

Nature of any existing buildings and/or land use:

General Agriculture - No Existing Buildings

Approximate cost of proposed development (excluding GST):

\$243,000

OFFICE USE ONLY

Date application received:

Received by:

Application reference number:

Application fee payable: \$

Date of receipt of application fee from applicant:

Receipt number for application fee:

WESTERN



AUSTRALIA

REGISTER NUMBER N/A	
DUPLICATE EDITION N/A	DATE DUPLICATE ISSUED N/A

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **1989** FOLIO **181**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



THIS IS A MULTI-LOT TITLE

LAND DESCRIPTION:

LOTS M 549, M 557, M 561 & M 562 ON PLAN 3005

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

KIM STEVEN TOPHAM
MICHAEL DAVID TOPHAM
BOTH OF R.M.B. 706, COOMBERDALE
AS TENANTS IN COMMON IN EQUAL SHARES

(T J316071) REGISTERED 9/6/2005

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

1. THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERSEDED PAPER VERSION OF THIS TITLE. SEE VOL 1989 FOL 181. AS TO LOTS M 561 & M 562 ON P 3005 ONLY
2. EXCEPT AND RESERVING METALS, MINERALS, GEMS AND MINERAL OIL SPECIFIED IN TRANSFER 1240/1921.
3. J363876 MORTGAGE TO WESTPAC BANKING CORPORATION REGISTERED 18/7/2005.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: P3005
PREVIOUS TITLE: 768-15
PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF MOORA

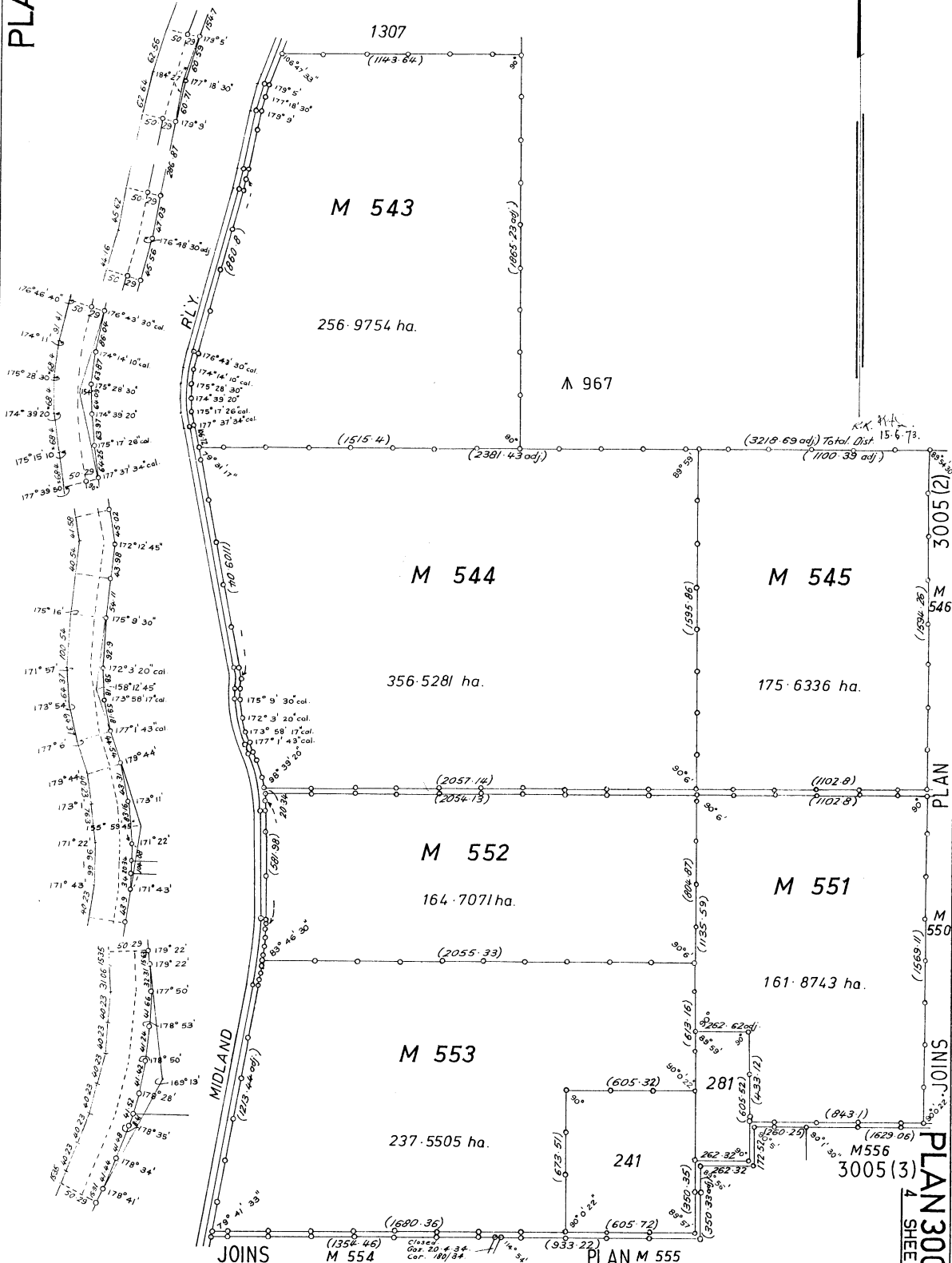


PT. OF MELBOURNE LOC.929.

L.T.O. Cor. 200 - 08.
FB# 4318,4319,4320,4321 & 4368.
INDEX PLANS 2909,5085.
C.T.S. 213 /142.
Now. 428 /165.

APPROVED
19. 8. 08.

PLAN 3005(1)
4 SHEETS.



SCALE
0 200 400 600 800 1000 1200 METRES.
ALL DISTANCES ARE IN METRES.



PLAN 3005(2)
M 546
PLAN
M 550
SNIOJ
M 556
PLAN 3005(3)
4 SHEETS.

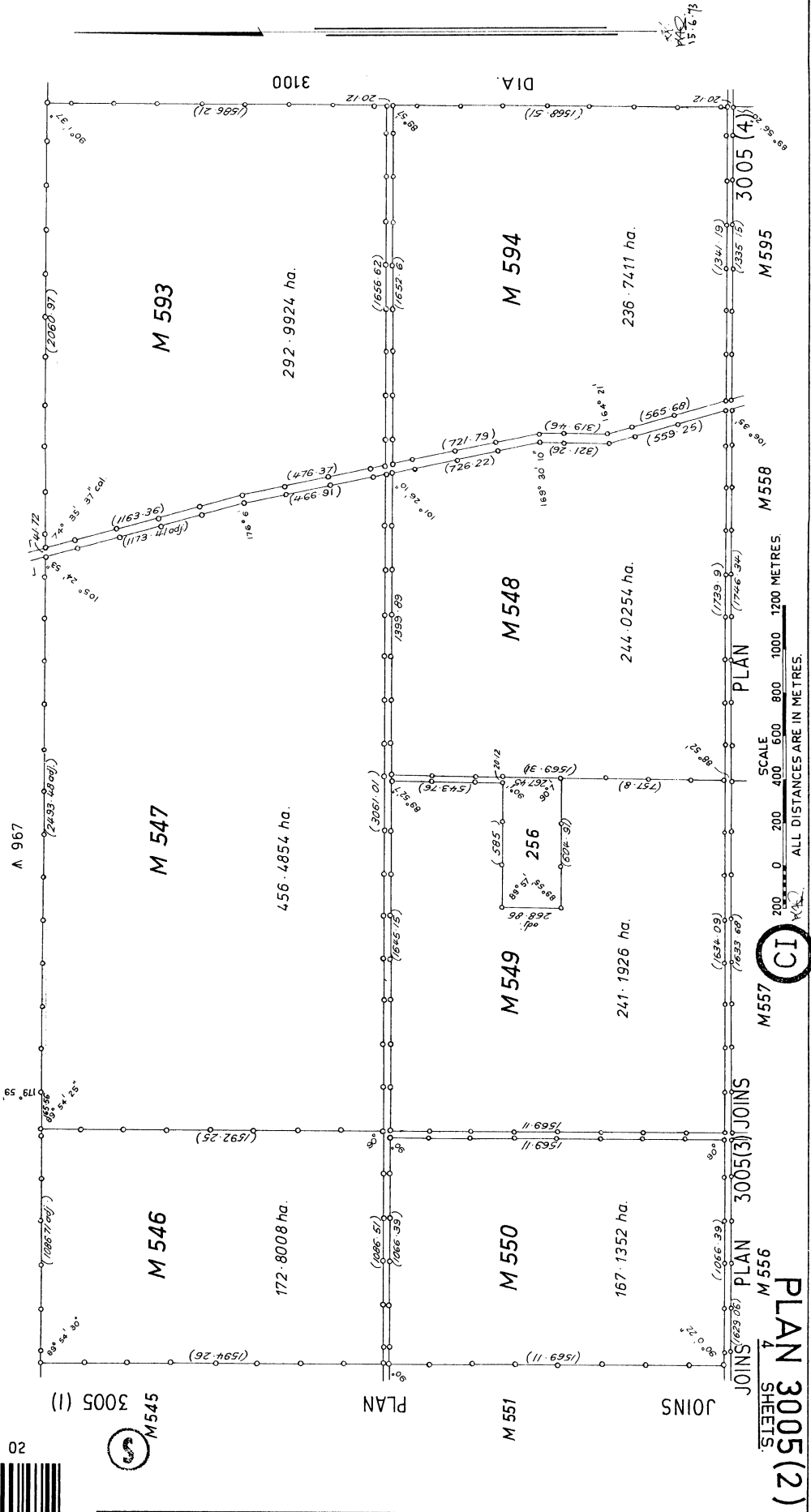
PLAN 3005 (2)
SHEETS.

PT OF MELBOURNE LOC. 929.

L.T.O. Cor. 200-08.
FB# 4318, 4319, 4320, 4321 & 4368.
INDEX PLANS 2309 & 5085
C.T.S. 213/142.
Now: 428/165.

APPROVED
19. 8. 08.

P 003005 F 02





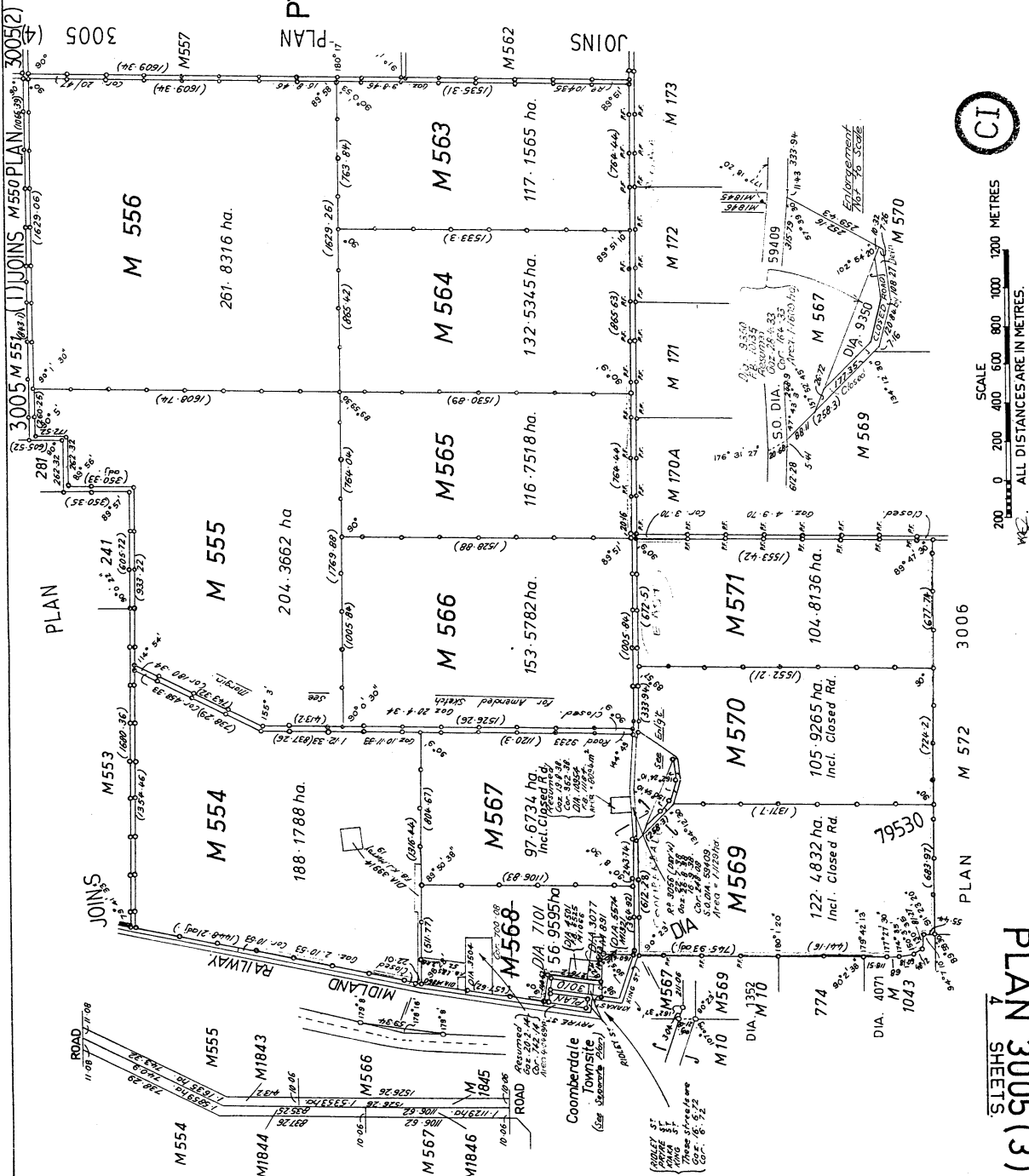
PT OF MELBOURNE LOC. 929.

L.T.O. Cor. 200 / 08.
F.B\$ 4318, 4319, 4320, 4321 & 4368.
INDEX PLANS-~~2388~~ 5085.

CTS 213 - 142.
Now. 428 - 165.

APPROVED
19. 8. 08.

15.6.13



Plan 3005

Lot	Certificate of Title	Lot Status	Part Lot
543	11/144A	Registered	
544	11/146A	Registered	
545	219/58A	Registered	
546	219/58A	Registered	
547	1989/180	Registered	
548	1989/178	Registered	
549	1989/181	Registered	
550	1115/613	Registered	
551	1989/182	Registered	
552	1204/772	Registered	
553	1742/279	Registered	
554	1742/279	Registered	
555	1176/297	Registered	
556	1664/877	Registered	
557	1989/181	Registered	
558	1578/740	Registered	
559	1578/740	Registered	
560	1578/740	Registered	
561	1989/181	Registered	
562	1989/181	Registered	
563	1664/877	Registered	
564	1664/877	Registered	
565	1017/284	Registered	
566	1176/296	Registered	
567	1176/296	Registered	
569	1176/293	Registered	
570	1994/598	Registered	
571	1994/599	Registered	
593	1989/178	Registered	
594	1989/178	Registered	
595	159/103A	Registered	
596	863/52	Registered	
1843	1176/297	Registered	
1844	1742/279	Registered	
1845	1176/296	Registered	
1846	1176/296	Registered	

Owner's Consent for the making of a development application under the *Planning and Development Act 2005*


I, Kim Steven Topham, and I, Michael David Topham, being the registered owners of the premises identified as Lots M557 and M561 on Plan 3005, known as 761 Coomberdale East Road, Coomberdale WA 6512, in the Shire of Moora, consent to the making of an application for development approval by Field Solutions Group on the premises described above for the purpose of a Telecommunications Facility.


.....

Kim Steven Topham


.....

Date


.....

Michael David Topham


.....

Date



Proposed new FSG 45m tower
-30.449768, 116.104739
Solar 30m x 30m Lease

Access to site via existing access
road along 761 Coomberdale East Road
-30.468124, 116.103156

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				

DO NOT SCALE



Project:
**REGIONAL AUSTRALIA
NETWORK**
SITE No: P6MOOR03
MOORA
761 Coomberdale East Road

Drawing Title:
SITE LAYOUT HIGH LEVEL

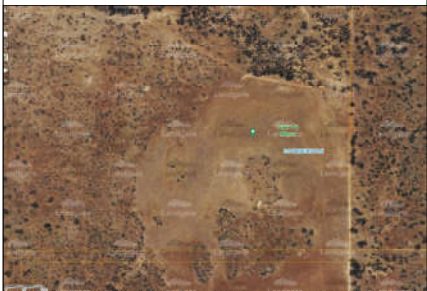
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Drawing No.
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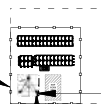
Revision:
A

LEGEND

- Road
- Access Road
- Lot Boundaries
- Selected Lot Boundaries
- Compound Fencing
- Trees



Proposed new FSG 45m tower
 -30.449768, 116.104739
 Solar 30m x 30m Lease



156m Setback From Boundary

185m Setback From Boundary

Lot M557
 P003005

Lot M558
 P003005

LOT M561
 P003005

100m

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
**REGIONAL AUSTRALIA
 NETWORK**
 SITE No: P6MOOR003
MOORA
 761 Coomberdale East Road

Drawing Title:
SITE LAYOUT HIGH LEVEL

Drawing Status:
DRAFT


Drawing No.
P6MOOR003-G3


Revision:
A

DO NOT SCALE

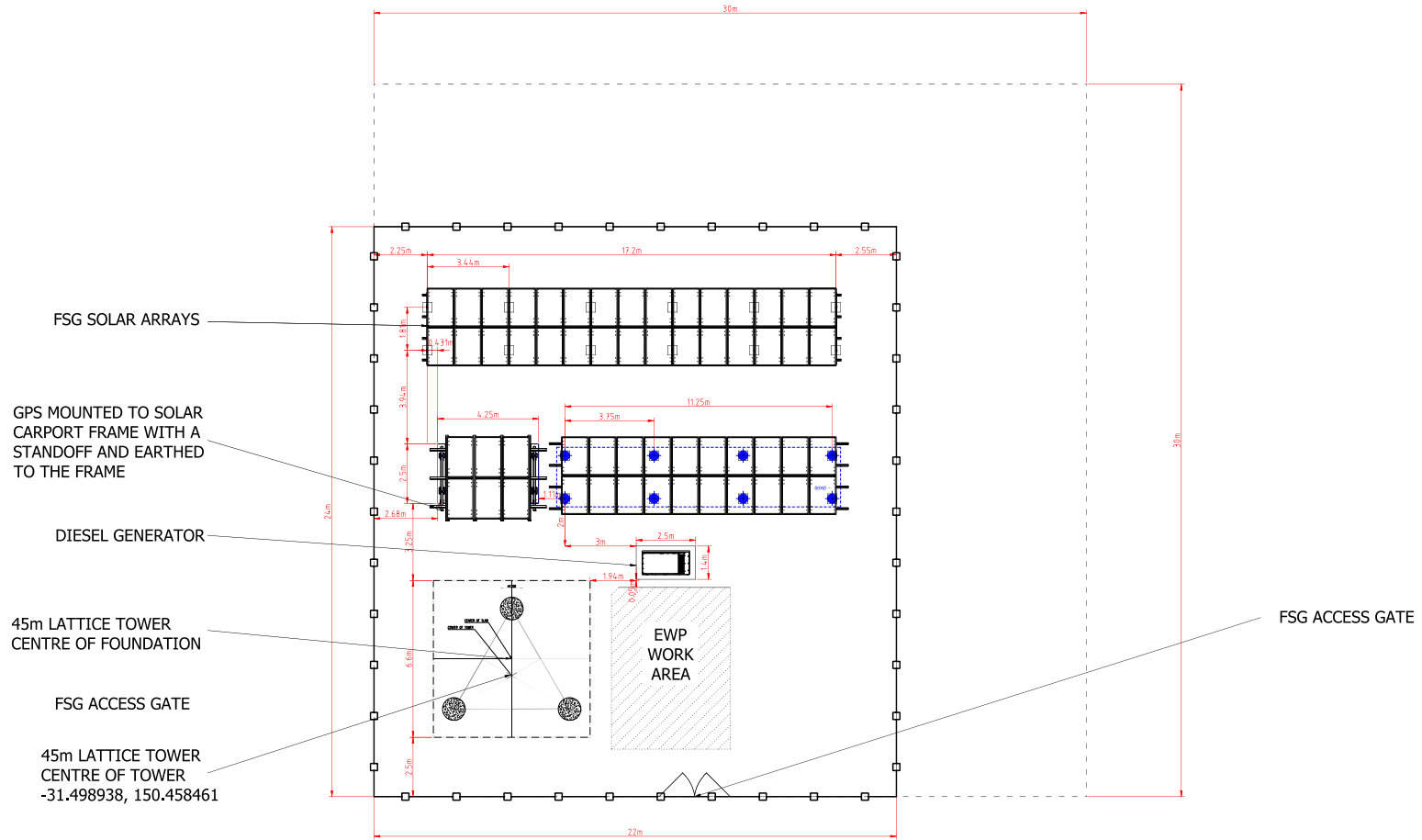
LEGEND

Compound Fencing 

EWP Work Area 

Tower Foundation 

Lease Area 



FSG SOLAR ARRAYS

GPS MOUNTED TO SOLAR CARPORT FRAME WITH A STANDOFF AND EARTHED TO THE FRAME

DIESEL GENERATOR

45m LATTICE TOWER CENTRE OF FOUNDATION

FSG ACCESS GATE

45m LATTICE TOWER CENTRE OF TOWER
-31.498938, 150.458461

FSG ACCESS GATE

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



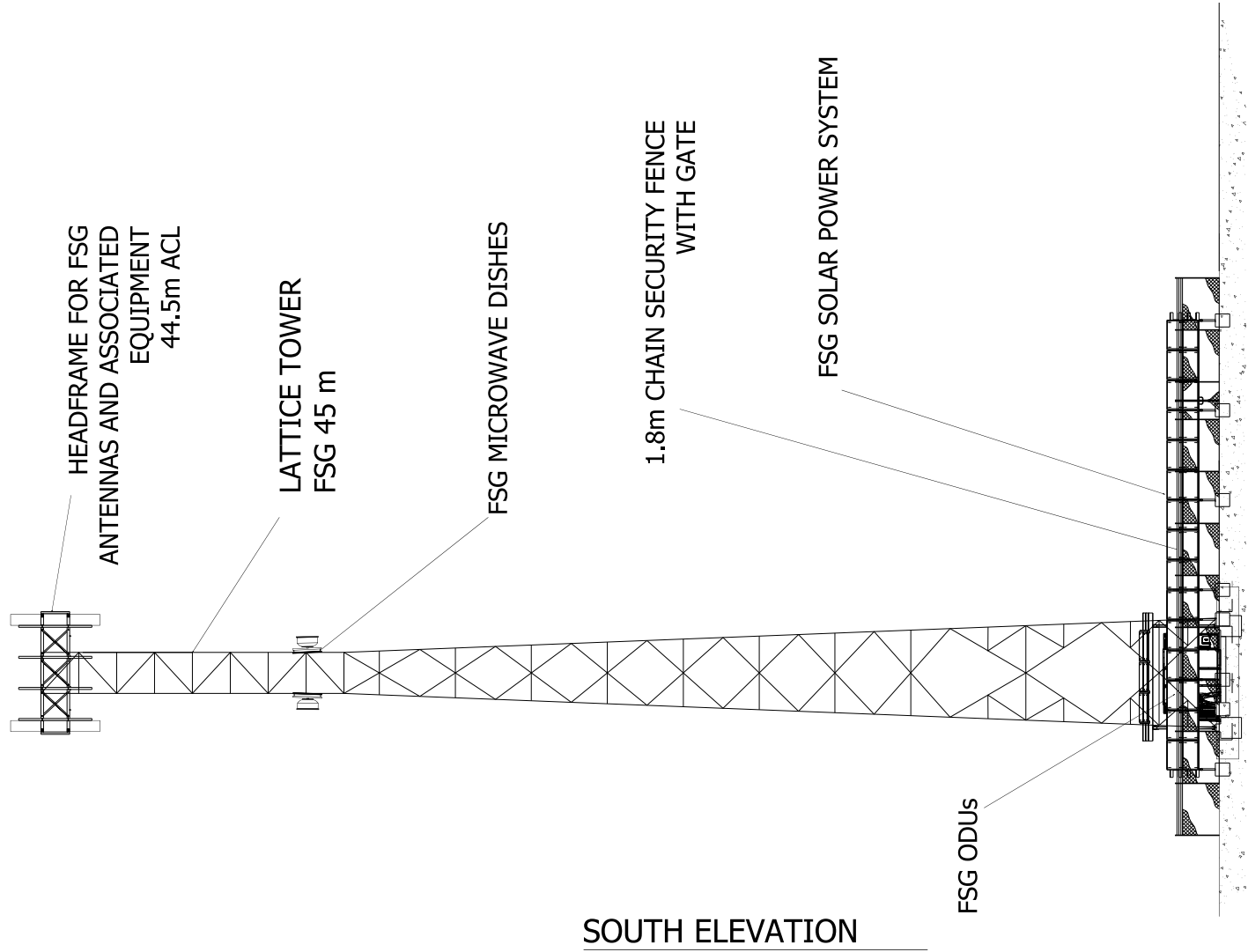
Project:
REGIONAL AUSTRALIA NETWORK
 SITE No: P6MOOR003
MOORA
 761 Coomberdale East Road

Drawing Title:
SETOUT PLAN
 Drawing Status:
DRAFT

Drawing No. **P6MOOR003-G4** Revision: **A**

DO NOT SCALE

NOTE:
THIS DRAWING IS DIAGRAMMATIC ONLY
AND SHOULD NOT BE SCALED.



DIAGRAMMATIC TOWER ELEVATION
REFER TO PLAN VIEW FOR ORIENTATION

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				

DO NOT SCALE



Project:
REGIONAL AUSTRALIA
NETWORK
SITE No: P6MOOR003
MOORA
761 Coomberdale East Road

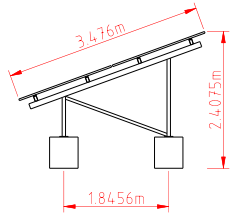
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SITE ELEVATION

Drawing Status:
DRAFT

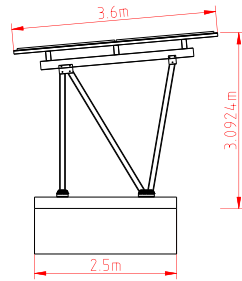
Drawing No.
P6MOOR003-G5

Revision:
A

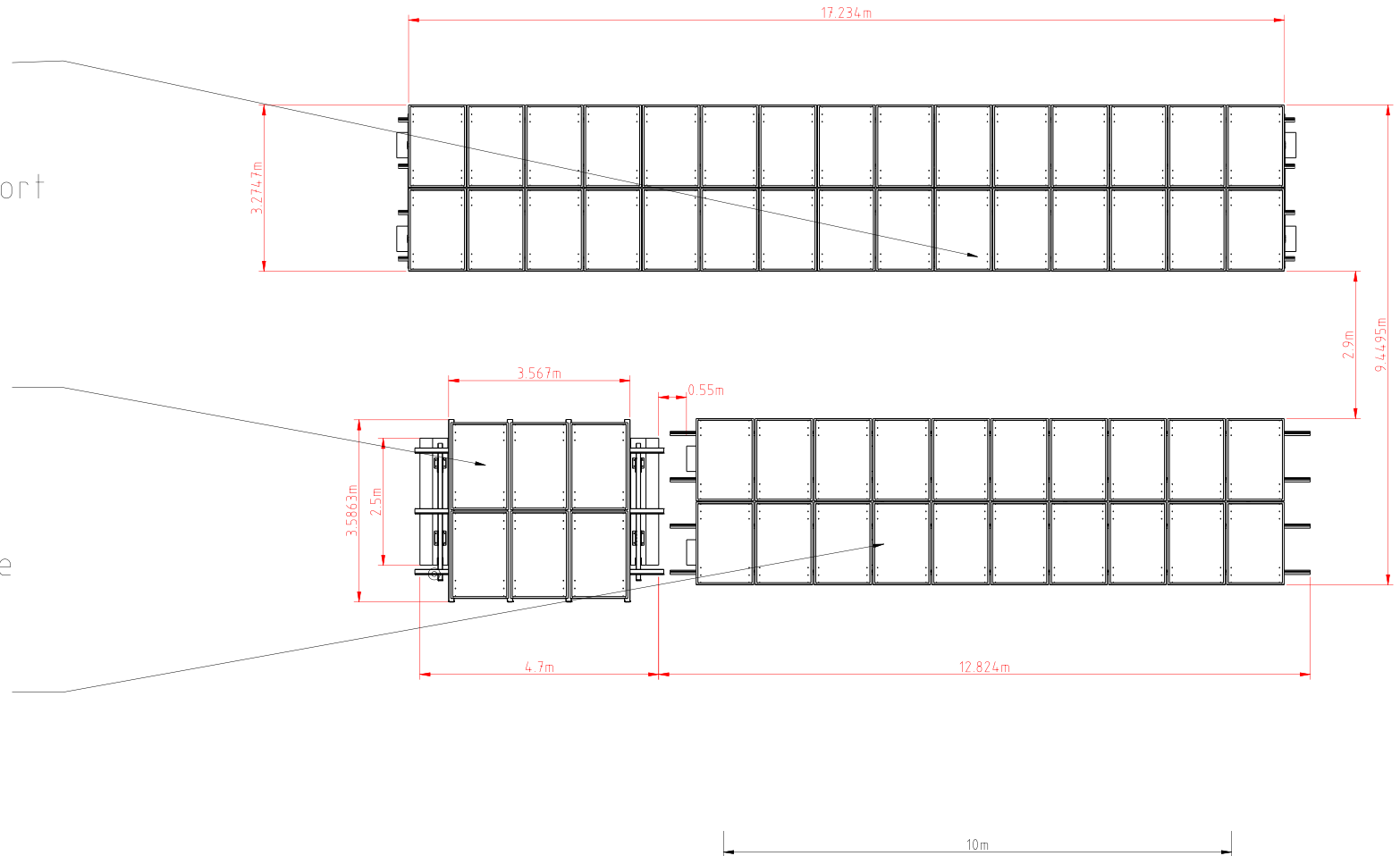
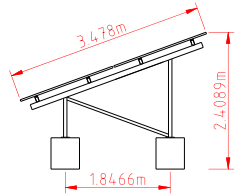
30x Solar Panel Frame



6x Solar Panel Carport



20x Solar Panel Frame



Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	06/10/2023	DRAFT				



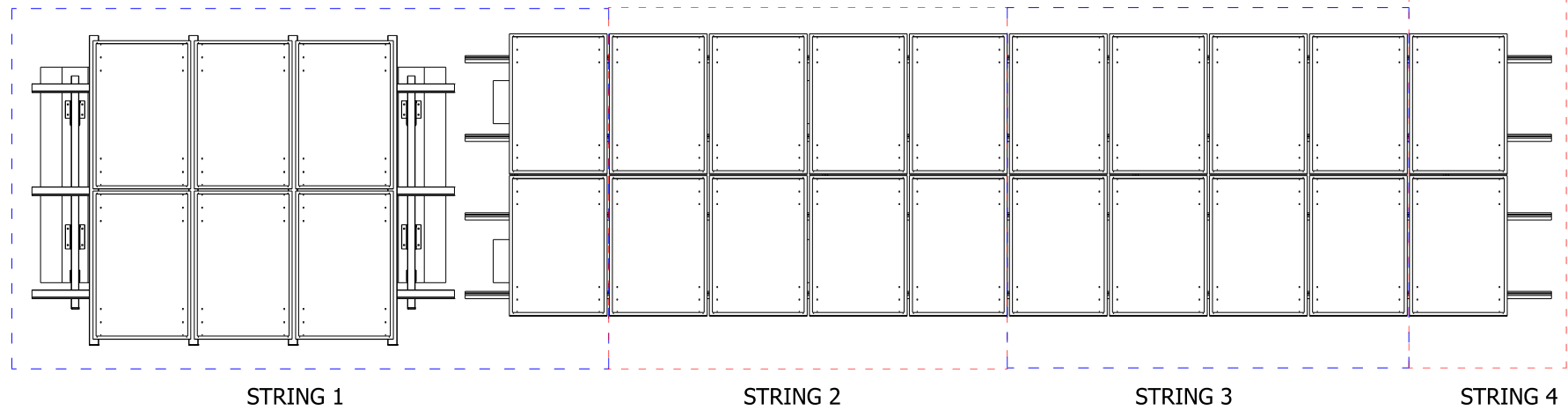
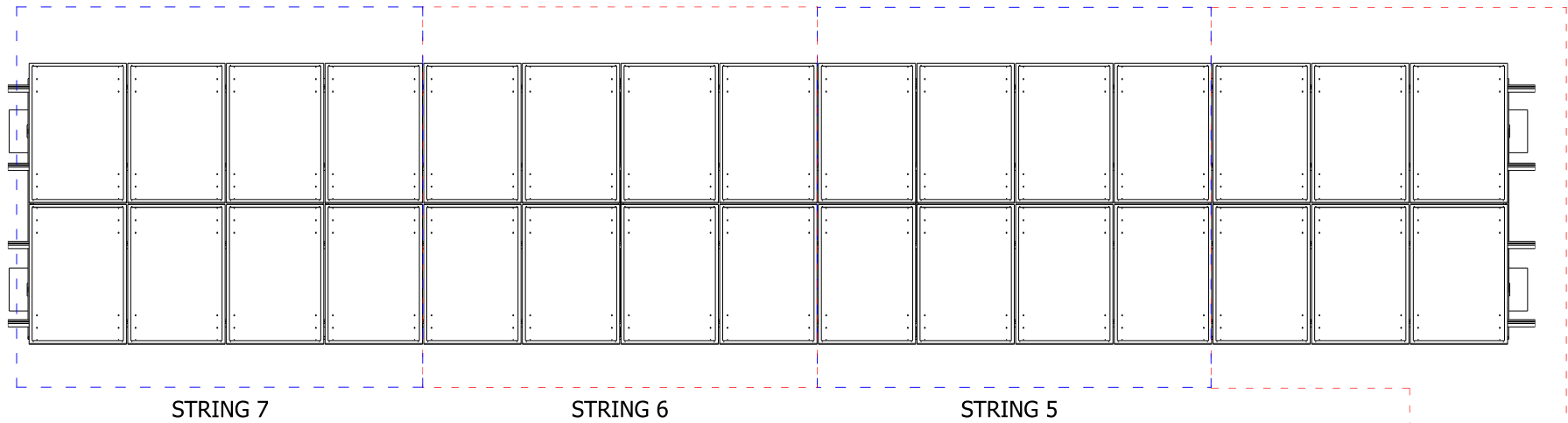
Project:
REGIONAL AUSTRALIA NETWORK
SITE No: P6MOOR003
MOORA
 761 Coomberdale East Road

Drawing Title:
SOLAR DESIGN/ LAYOUT

Drawing Status: **DRAFT**

Drawing No: **P6MOOR003-E4**

Revision: **A**



Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
REGIONAL AUSTRALIA NETWORK
SITE No: P6MOOR003
MOORA
 761 Coomberdale East Road

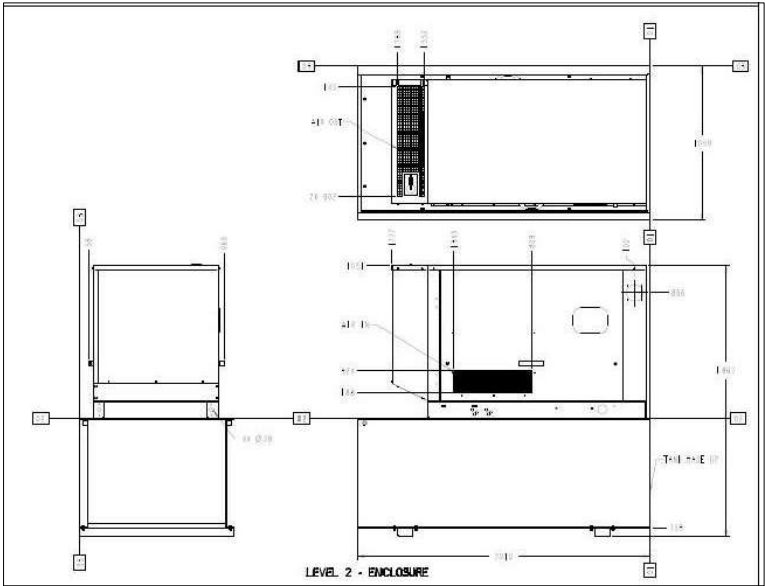
Drawing Title:
SOLAR ARRAY CONFIGURATION PLAN

Drawing Status:
DRAFT

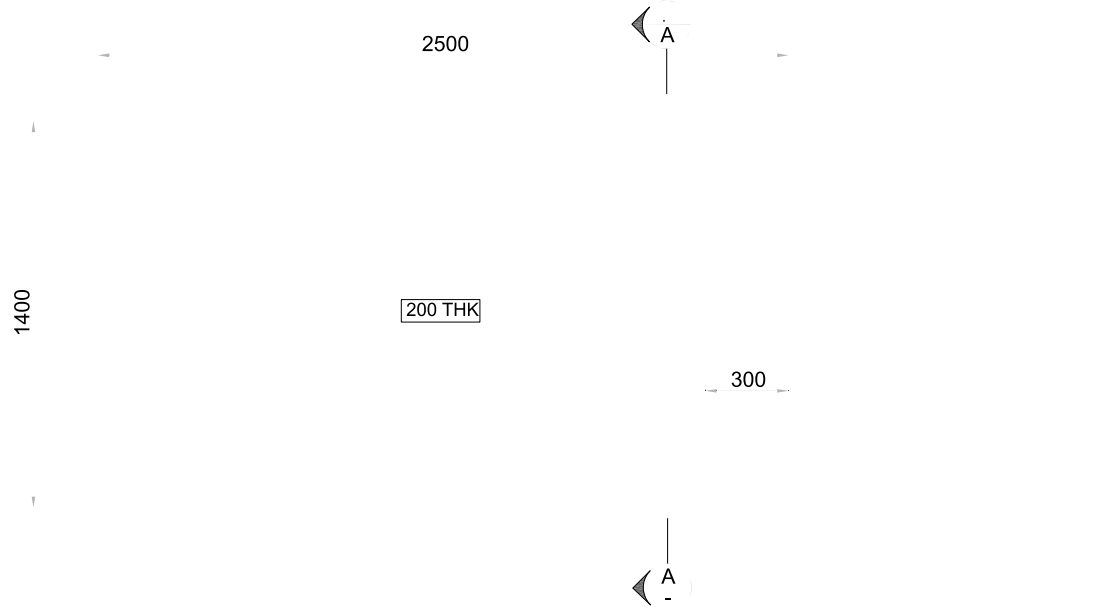
Drawing No. **P6MOOR003-E5** Revision: **A**

DO NOT SCALE

Quantity of material for slab	0.75 m ³ /per foundation
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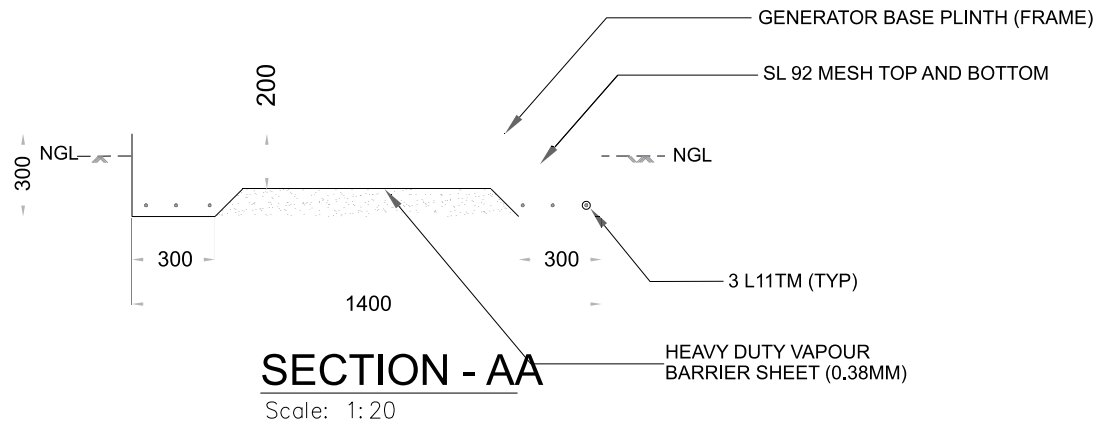


GENERATOR ENCLOSURE INFORMATION



FOUNDATION PLAN

Scale: 1:20



SECTION - AA

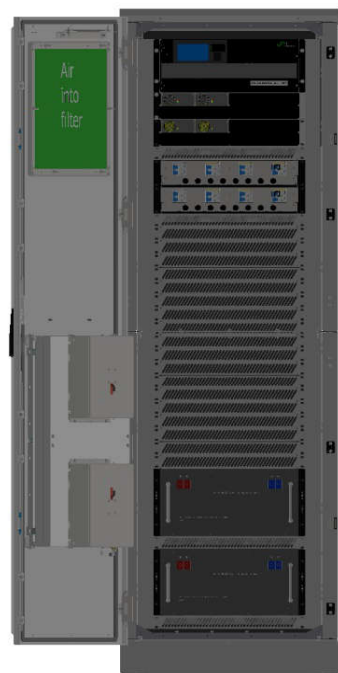
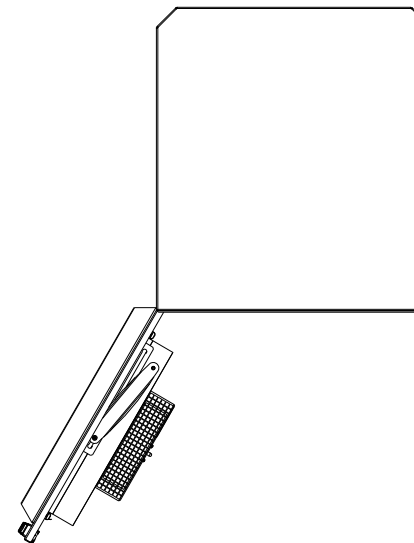
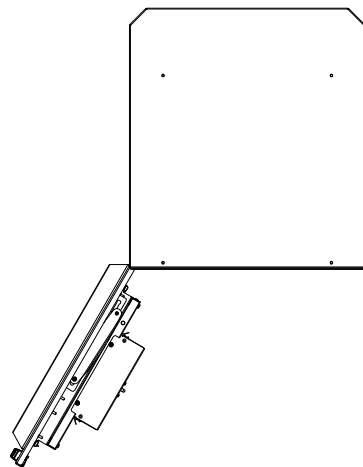
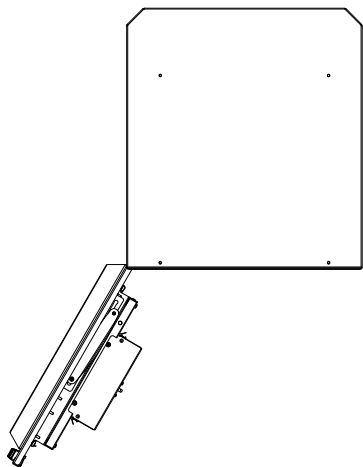
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Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				

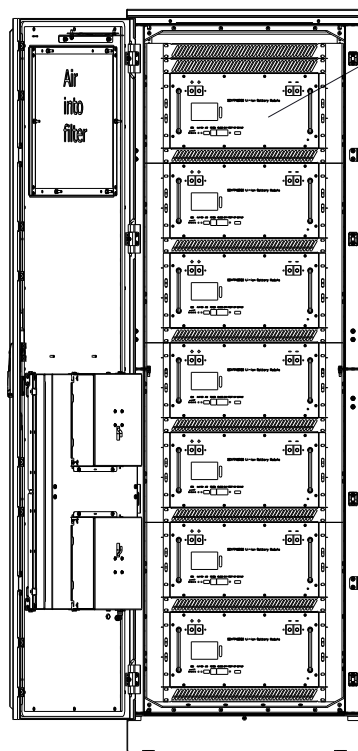


Project:
REGIONAL AUSTRALIA NETWORK
SITE No: P6MOOR003
MOORA
 761 Coomberdale East Road

Drawing Title: GENERATOR DESIGN	Drawing Status: DRAFT	Drawing No: P6MOOR003-E6	Revision: A
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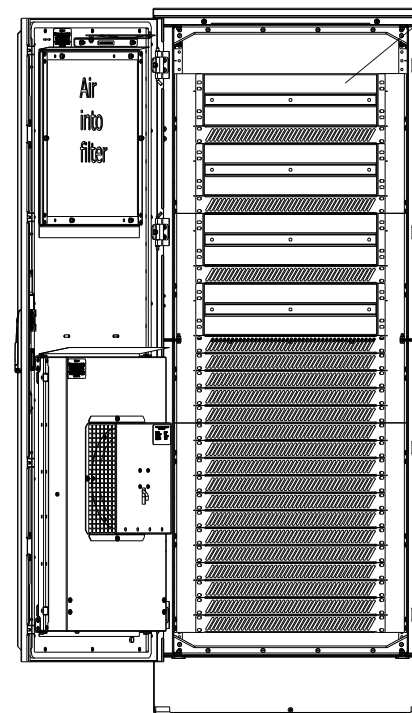


GA FP2 48V 12+16KW 230V+N
SPD BD LD T3 FF



X7 BATT
(48V 200AH)

GA X7 BATT SYSEM OD T3 FF



PDU 3RU CHASSIS

DIST CAB T3 FF 1.5M 28RU

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				

DO NOT SCALE



Project:
REGIONAL AUSTRALIA
NETWORK
SITE No: P6MOOR003
MOORA
761 Coomberdale East Road

Drawing Title:
CABINET LAYOUT

Drawing Status:
DRAFT

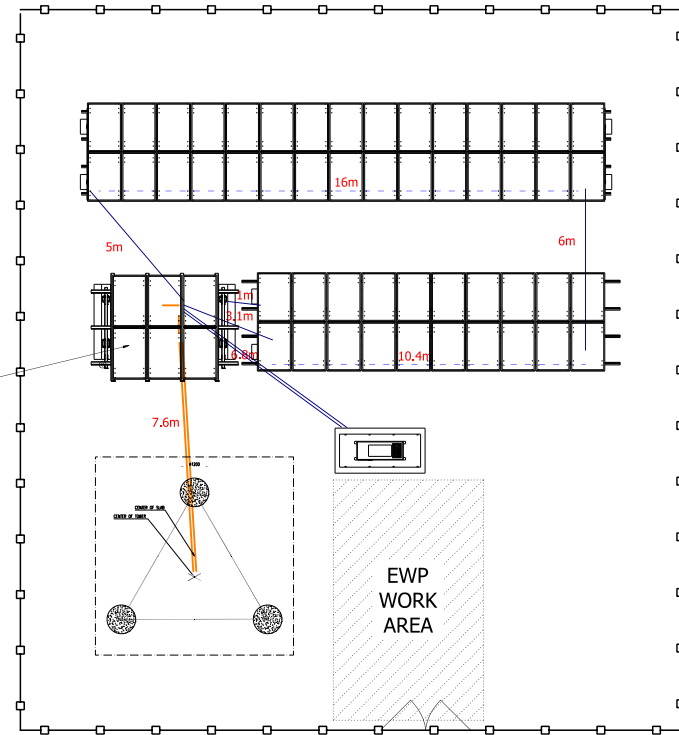
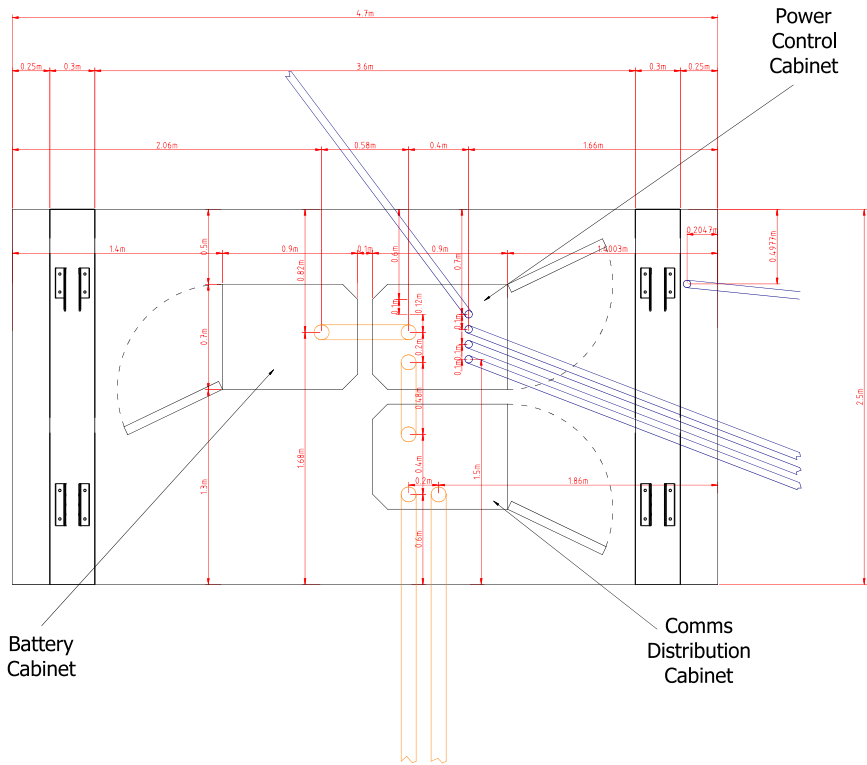
Drawing No.
P6MOOR003-F1

Revision:
A



LEGEND

Compound Fencing	
EWP Work Area	
Tower Foundation	
Future Expansion	
100mm Conduit	
50mm Conduit	
50mm Conduit Above Ground	
Cable Pit	



Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



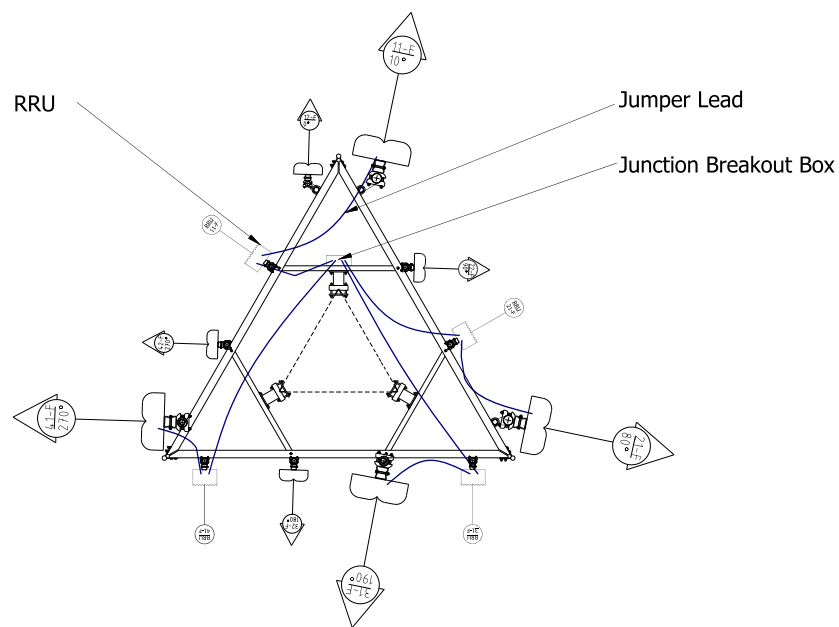
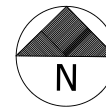
Project:
REGIONAL AUSTRALIA NETWORK
 SITE No: P6MOOR003
 MOORA
 761 Coomberdale East Road

Drawing Title:
**CONDUIT / CABLE TRAY,
 FEEDER RUN DESIGN**

Drawing Status:
 DRAFT

Drawing No.
P6MOOR003-F3

Revision:
 A



ANTENNAS PLAN

LEGEND:



NOTES:

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH RF PLUMBING DIAGRAM DRAWING.
2. ANTENNA CO-ORDINATES ARE SPECIFIED FOR CENTRE OF EACH SECTOR, TO THE NEAREST METER
3. INFORMATION IN THE TABLES SUPPLIED AND VERIFIED BY FSG.
4. ANCILLARIES REFER TO ITEMS AT OR NEAR THE ANTENNA
5. CO-AXIAL FEEDER AND TRUNK LENGTHS ARE ESTIMATED, ROUNDED UP TO THE NEXT 5m.
6. TOTAL TAIL LENGTHS FROM RRU TO ANTENNA WILL BE 5m MAXIMUM.

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
REGIONAL AUSTRALIA NETWORK
 SITE No: P6MOOR003
 MOORA
 761 Coomberdale East Road

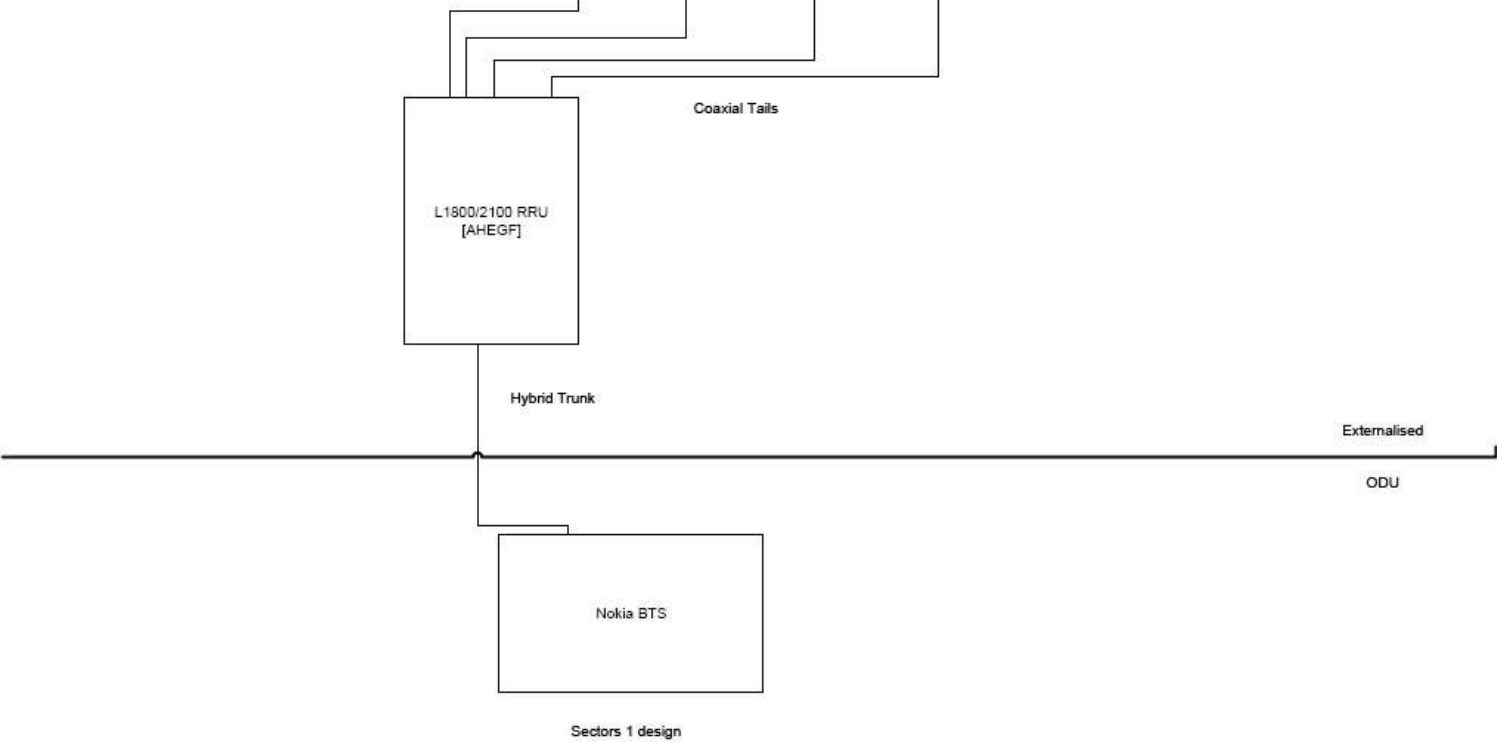
Drawing Title:
PANEL ANTENNA AND TRANSMISSION CONFIGURATION

Drawing Status: **DRAFT**

Drawing No. **P6MOOR003-A1** Revision: **A**

4 Sector Mid-band LTE Plumbing Diagram

Low band 1		Low band 2		High band 1		High band 2	
L+	L-	L+	L-	H+	H-	H+	H-
1	2	3	4	5	6	7	8



FSG reference design has all 4 sectors following the same plumbing

A	05/10/2023	DRAFT					
Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver	



Project:
REGIONAL AUSTRALIA NETWORK
 SITE No: P6MOOR003
 MOORA
 761 Coomberdale East Road

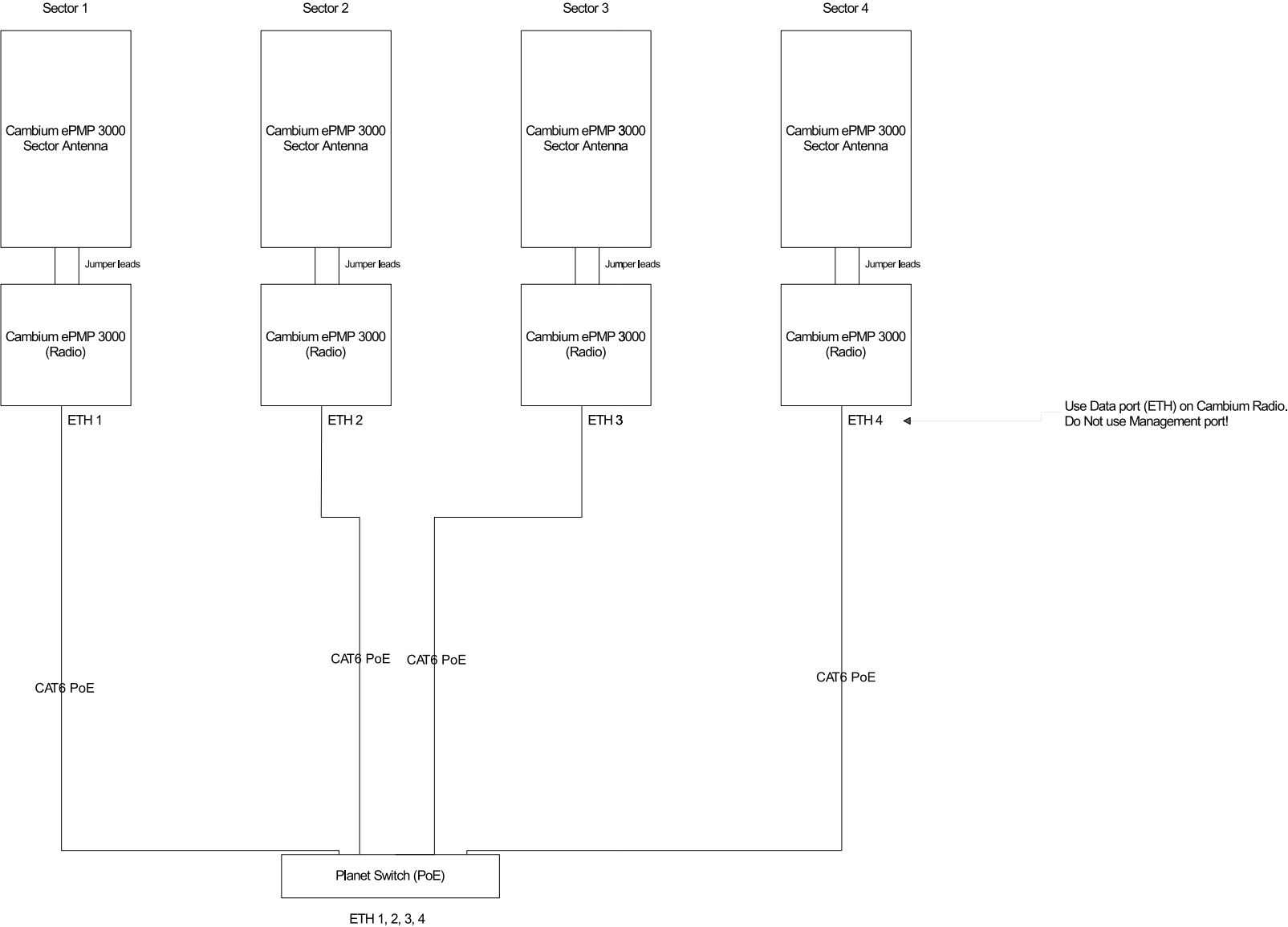
Drawing Title:
RF PLUMBING DIAGRAM

Drawing Status: **DRAFT**

Drawing No. **P6MOOR003-A2**

Revision: **A**

4 Sector Cambium Plumbing Diagram



A	05/10/2023	DRAFT																	
Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver													



Project:
REGIONAL AUSTRALIA NETWORK
 SITE No: P6MOOR003
 MOORA
 761 Coomberdale East Road

Drawing Title:
CAMBIUM RF PLUMBING DIAGRAM

Drawing Status: **DRAFT**

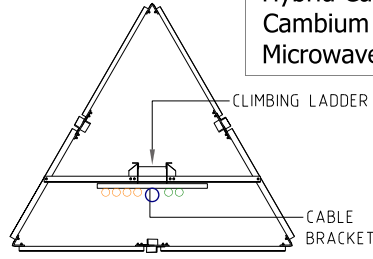
Drawing No. **P6MOOR003-A3**

Revision: **A**

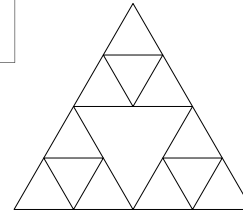
NOTE:

1. ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE NOTED.
2. ALL MEMBERS MATERIAL EXCEPT FOR LEGS NOT DESIGNATED WITH (M) SHALL BE GB/T 700 Q235 OR EQUIVALENT LEG MEMBERS EXCEPT ONES DESIGNATED WITH (M) ARE HIGH TENSILE GB/T 1591 Q345 MEMBERS.
3. MEMBERS TO BE GALVANISED TO ISO 1461:2009 SPECIFICATION.
4. ALL BOLT ARE N/S BOLT U.N.O.
5. BOLTS :- GRADE 8.8 OR EQUIVALENT.
6. DESIGN STANDARD : AS 1170.2-2021 & AS 3995:1994
7. PARTIAL SAFETY FACTOR FOR DEAD LOAD (COMP/TENS): 1.2/0.90
8. TERRAIN CATEGORY : 1.0-3.0
9. TOPOGRAPHIC MULTIPLIER (Mt) : 1.0
10. DESIGN WIND SPEED : 45 m/s (PEAK GUST) REGION A0.
11. MAXIMUM ALLOWABLE TILT/TWIST AT OPERATIONAL WIND SPEED : 1 degree

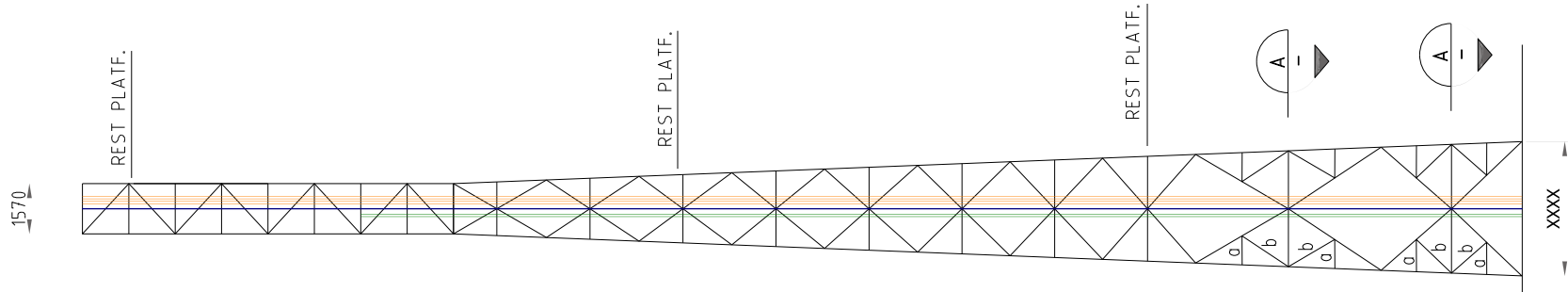
CABLE PLAN
 Hybrid Cable ○
 Cambium Conduit ○
 Microwave Conduit ○



TYPICAL SECTION



A SECTION



MODULE	H245	G2	F2	E2	D2	C2	B2	A245
LEG	V 180x180x16	V 160x160x16	V 160x160x16	V 160x160x12	V 140x140x12	V 110x110x12	V 100x100x8	V 75x75x6(M)
DIAGONAL	L 80x80x6	L 90x7 L 75x6	L 70x70x6	L 70x70x6	L 70x70x5	L 70x70x5	L 75x75x6	L 70x70x6
HORIZONTAL	L 50x50x5	L 50x50x5				L 50x50x5	L 50x50x5	L 50x50x5
FACE REDUNDANTS	a : L 45x45x5 b : L 50x50x5	a : L 45x45x5 b : L 70x07x5	L 50x50x5	L 50x50x5 L 45x45x5	L 45x45x5	L 45x45x5	L 50x50x5	L 50x50x5
PLANE REDUNDANTS	c : L 45x45x5	c : L 45x45x5						
BOLTS FOR LEG	10xM20	10xM20	10xM20	8xM20	8xM20	6xM20	6xM16	6xM16
BOLTS FOR DIAGONAL	2xM16	2xM16	2xM12	2xM12	2xM12	2xM12	2xM12	1xM16
BOLTS FOR HORIZONTAL	2xM12	2xM12				1xM12	1xM12	1xM12
BOLTS FOR FACE RED.	1xM16	1xM16	1xM12	1xM12	1xM12	1xM12	1xM12	1xM12
TOWER ELEVATION	0.0	4.4	10.2	16.0	21.8	27.6	33.4	39.2

REV.	ISSUED FOR CONSTRUCTION	DESCRIPTION	DATE
0	BY	DATE	DATE
	HN	DATE	DATE
	BY	DATE	DATE
	HN	DATE	DATE

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 telecommunications

FSC
 45m LATTICE TOWER

SCALE: NTS
 DRAWING NO: XXXXXX
 REV: 0

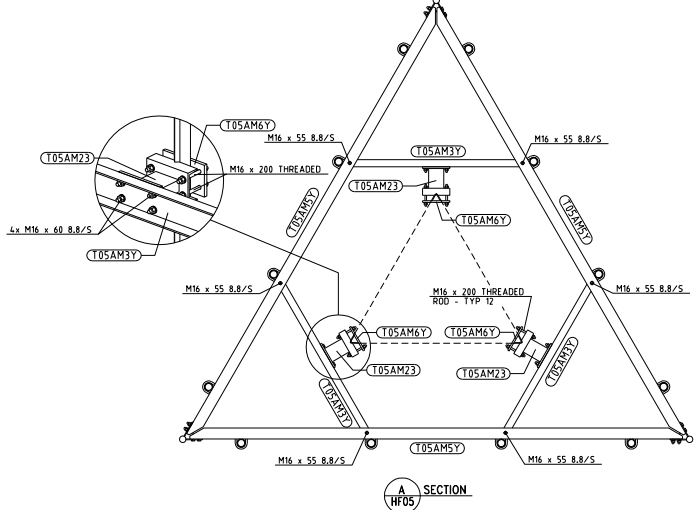
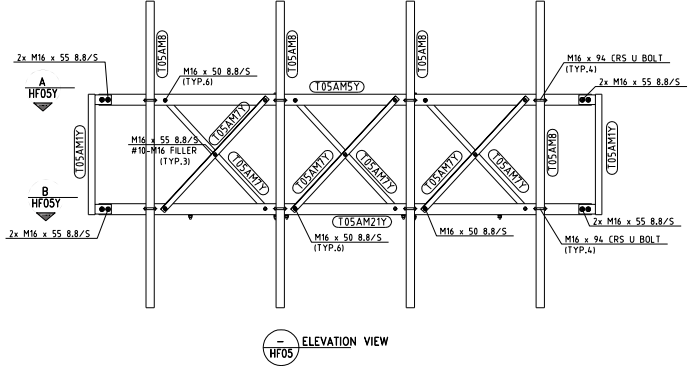
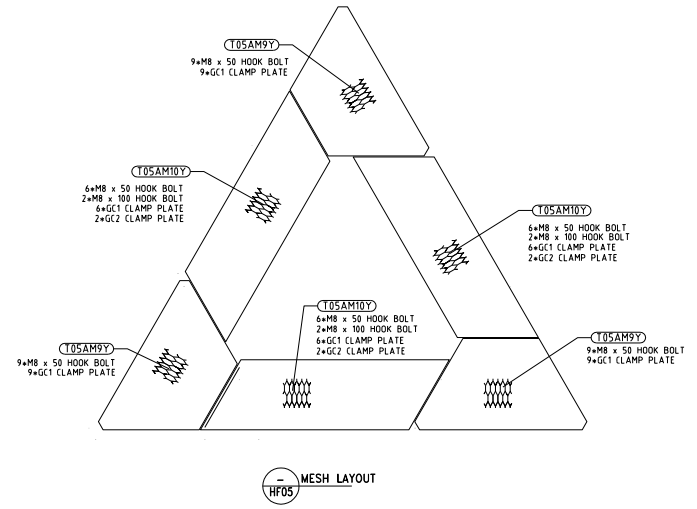
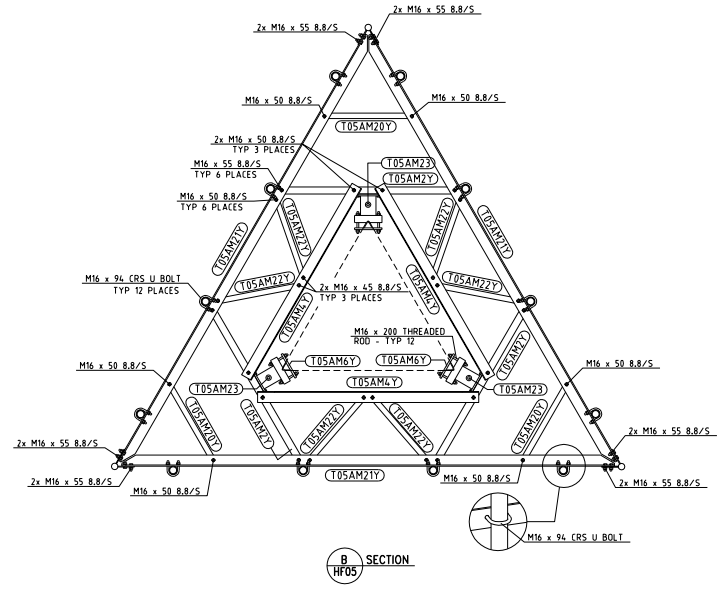
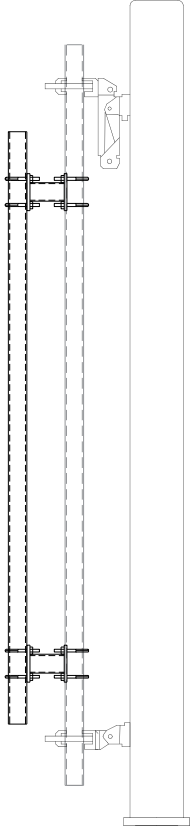
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A	05/10/2023	DRAFT				



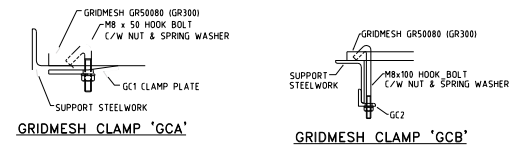
Project:
 REGIONAL AUSTRALIA NETWORK
 SITE No: P6MOOR003
 MOORA
 761 Coomberdale East Road

Drawing Title:
TOWER DESIGN AND CABLE DESIGN
 Drawing Status:
DRAFT

Drawing No.
P6MOOR003-S2
 Revision:
A



**SIDE ELEVATION
LTE ANTENNA MOUNT**



- NOTES**
1. ALL BOLT Ø10mm AND BELOW TO BE GR 4.6/S
 2. ALL BOLT Ø12mm AND ABOVE TO BE GR 8.8/S U.O.N
 3. ALL BOLT TO BE SNUG TIGHTENED IN ACCORDANCE WITH BOLTING PROCEDURE 8.8/S WITH THREADS INCLUDED IN SHEAR PLANE, UNLESS NOTED X/S.
 4. MARKED WITH (H) HIGH TENSILE AND OTHER ARE MILD STEEL

HEADFRAME - HF05Y
LIST OF MATERIAL

MARK	QTY	MATERIAL	LENGTH	WEIGHT	TOT WT
TOSAM23	6	ASSY-160 TFC	251	12.97	77.814
TOSAM1Y	3	ASSY-60 ROUND	1100	27.76	83.294
TOSAM3Y	3	TFC 160	1644	32.41	97.221
TOSAM4Y	3	L100x100x7	2019	21.82	65.472
TOSAM5Y	3	L100x100x10	4502	67.93	203.804
TOSAM6Y	6	PLATE 251x160x16	251	5.04	30.237
TOSAM7Y	18	L 50x50x5	1408	5.30	95.358
TOSAM8	12	76.1 x 5.9 CHS	2800	28.51	342.066
TOSAM9Y	3	GMWS0080 1573x834	1573	15.31	45.937
TOSAM10Y	3	GMWS0080 2274x641	2274	19.17	57.499
TOSAM20Y	3	L50x50x5	856	3.21	9.630
TOSAM21Y	3	L100x100x10	4502	67.93	203.804
TOSAM22Y	6	L50x50x5	815	3.07	18.395
TOTAL WEIGHT =					1427.75 Kg

QTY	BOLT SIZE	WEIGHT	TOTAL WT
9	#10-M16 FILLER	0.196	1.764
6	M16 x 45.8.8/S	0.179	1.074
54	M16 x 50.8.8/S	0.185	9.990
45	M16 x 55.8.8/S	0.193	8.685
24	M16 x 60.8.8/S	0.199	4.776
24	M16 x 94. CRS U BOLT	0.510	12.240
24	M16 x 200 THREADED ROD c/w 2 x NUTS	0.440	10.560
45	M8 x 50 HOOK BOLT	0.05	2.250
6	M8 x 100 HOOK BOLT	0.065	0.395
45	G11 CLAMP	0.110	4.950
6	G12 CLAMP	0.08	0.480
TOTAL WEIGHT =		57.159 Kg	



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	DATE:	DATE:	DATE:	SCALE
	30.12.22			DRAWING NUMBER
				NTS

**SITE: GENERIC
TRIANGULAR SS TOWER HEADFRAME WITH PLATFORM
ANTENNA MOUNT - ERECTION DETAIL**

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
**REGIONAL AUSTRALIA
NETWORK**
SITE No: P6MOOR003
MOORA
761 Coomberdale East Road

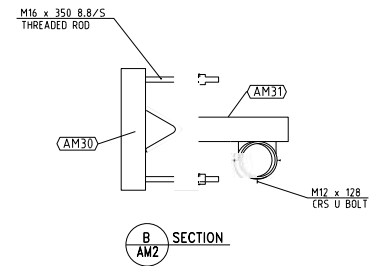
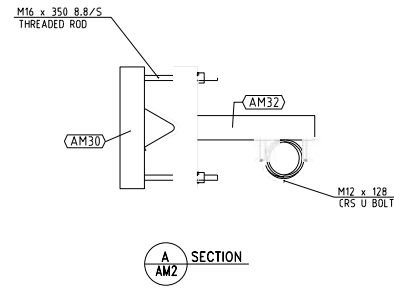
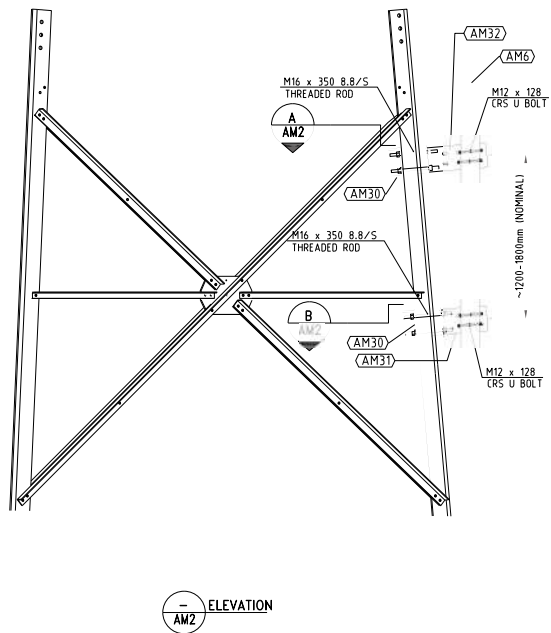
Drawing Title:
DETAILED HEADFRAME DESIGN

Drawing Status:
DRAFT

Drawing No.
P6MOOR003-S3

Revision:
A

DO NOT SCALE



*** THIS LEG MOUNT SUITABLE FOR BOTH TAPERED AND STRAIGHT TOWER SECTIONS

- NOTES**
1. ALL BOLT ϕ 10mm AND BELOW TO BE GR 4.6. ALL BOLT ϕ 12mm AND ABOVE TO BE GR 8.8. ALL NOT DIP GALV. FINISH.
 2. ALL BOLT TO BE C/W NUT & SPRING WASHER.
 3. ALL BOLT TO BE SING TIGHTENED IN ACCORDANCE WITH BOLTING PROCEDURE 8.8/S WITH THREADS INCLUDED IN SHEAR PLANE, UNLESS NOTED X/S.
 4. ALL STEEL TO BE Gr S5400 U.O.N

4	ISSUE FOR CONSTRUCTION	AS	31.03.22	
3	ISSUE FOR CONSTRUCTION	LR	14.09.20	
2	ISSUE FOR CONSTRUCTION	LR	22.05.15	
1	ISSUE FOR CONSTRUCTION	ZH	11.02.15	
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	DRAWN	CHK'D	APRV'D	
	DATE:	DATE:	DATE:	
	29.11.07			

SDH MICROWAVE LEG MOUNT
LIST OF MATERIAL

MARK	QTY	MATERIAL	LENGTH	WEIGHT	TOTAL WT.
AM6	1	114.3 x 5.4 CHS	2000	32.00	32.00
AM30	2	180 PFC	375	7.84	15.68
AM31	1	ASSY - 180 PFC	375	14.09	14.09
AM32	1	ASSY - 180 PFC	436	15.77	15.77
TOTAL WEIGHT = 77.54 Kg					

QTY	BOLT SIZE	WEIGHT	TOTAL WT.
4	M12 x 128 CRS U BOLT	0.3819	1.527
8	M16 x 350 THREADED ROD	0.6837	5.470
TOTAL WEIGHT = 7.00 Kg			

INSTALLATION NOTES

1. LEG CLAMPS TO BE POSITIONED AS CLOSE AS POSSIBLE TO THE TOWER BRACING OR HORIZONTAL MEMBERS.



GENERIC LATTICE TOWER LEG MOUNT
TYPE A - ERECTION DETAIL

DRAWING NUMBER: TM-2-AM2
SCALE: NTS
REV: 4

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
REGIONAL AUSTRALIA NETWORK
SITE No: P6MOOR003
MOORA
761 Coomberdale East Road

Drawing Title:
DETAILED MICROWAVE MOUNT DESIGN

Drawing Status: **DRAFT**

Drawing No. **P6MOOR003-S4** Revision: **A**

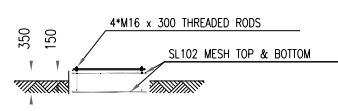
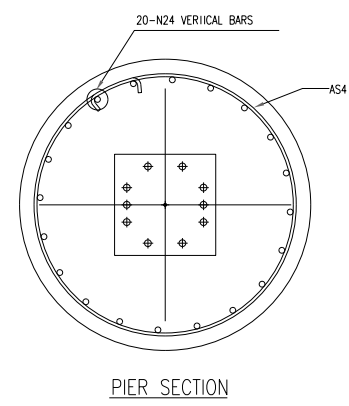
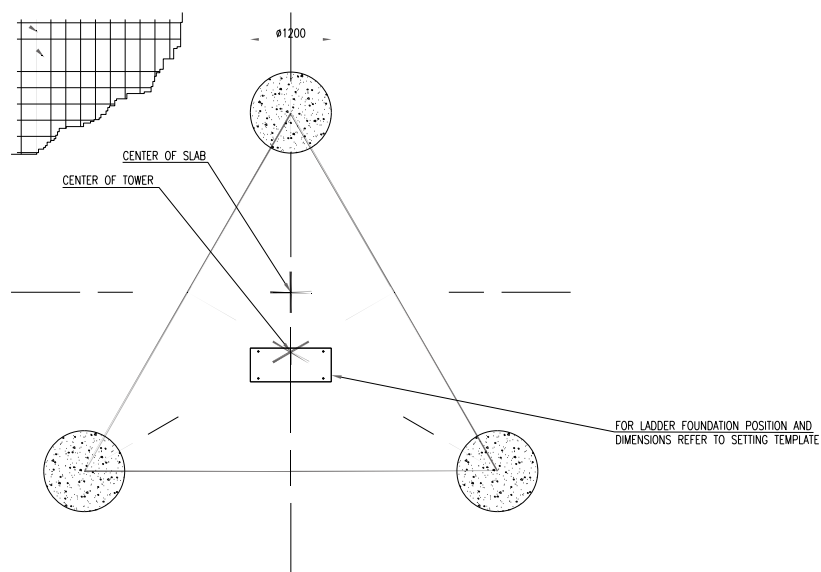
DO NOT SCALE



TOWER FOUNDATION TABLE / FOUNDATION REINFORCEMENT				
AS1	AS2	AS3	AS4	AS5
N24 @ 250mm	N24 @ 250mm	20-N24 VERT BARS	N12 @ 200mm	N16 @ 250mm
BOTH WAYS	BOTH WAYS	PER PEDESTAL	EACH LEVEL	EACH FACE

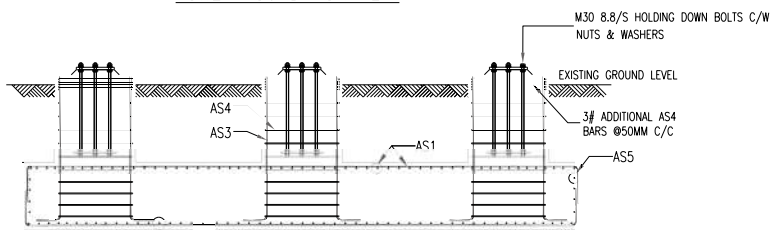
QUANTITY TAKE-OFF			
CONCRETE VOL.	REBARS WT.	EXCAVATION BCM VOL.	BACKFILL VOL.
41.4 C.U.M	3923 KG	87.1 C.U.M	45.7 C.U.M

- NOTES
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
 - CONCRETE BASED ON CHARACTERISTIC COMPRESSIVE (CYLINDER) STRENGTH AT 28 DAYS OF MINIMUM 25.00 MPa ACCORDING TO AS3600-2018. NO STRUCTURE SHALL BE ERECTED ON THE FOUNDATION UNTIL THE MINIMUM DESIGN STRENGTH HAS BEEN CONFIRMED AT 7 DAYS.
 - REINFORCING STEEL ACCORDING TO AS/NZS 4671-2019 GRADE 500 DEFORMED BARS.
 - MINIMUM CONCRETE COVER = 50mm.
 - UNIT WEIGHT OF DRY COMPACTED SOIL = 18 kN/cu.m.
 - ALLOWABLE END BEARING PRESSURE = 210 kN/sq.m.
 - CONCRETE SUPPLY/TESTING SHALL BE AS PER:
 - AS1012 - METHOD OF TESTING CONCRETE.
 - AS1379-2007 - SPECIFICATION AND SUPPLY OF CONCRETE.
 - BACKFILL MATERIALS SHALL BE PLACED ON 300mm LAYERS & COMPACTED TO 95% OF THE MAX. DRY DENSITY IN ACCORDANCE WITH AS1289.5.2.1
 - GENERALLY, THERE SHALL BE NO CONTACT BETWEEN REINFORCEMENT & ANCHOR BOLTS. HOWEVER, IF THERE IS ANY CONTACT, ISOLATION MATERIAL SUCH AS NEOPRENE MATERIAL IS TO BE INSERTED TO AVOID CORROSION.
 - ANCHOR BOLTS TO BE HOT-DIPPED GALVANIZED.
 - NO CONSTRUCTION JOINTS ARE ALLOWED, EXCEPT AT THE INTERFACE OF PAD AND CHIMNEY (SEE CONSTRUCTION JOINTS NOTE BELOW).
 - ALL GROUT SHALL BE 75mm THICKNESS, NON-FERROUS & NON SHRINK GROUT EDGES SHALL BE TAPERED OFF AT 45 DEGREES OR VERTICAL.
 - THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE TOWER SETTING TEMPLATE DRAWING.
 - THE SPACING OF LIGATURE FROM THE TOP AND BOTTOM SHALL BE 50mm.
 - THE BASE EXCAVATION SHALL BE CLEAR OF LOOSE MATERIAL AND DEBRIS.
 - PRIOR TO CONCRETING, THE REINFORCEMENT SHALL BE INSPECTED BY A COMPETENT PERSON FOR COMPLIANCE, CONFORMANCE AND APPROVAL.
 - WATER SHALL NOT BE ALLOWED TO POND IN FOOTING FOR ANY LENGTH OF TIME.
 - CONCRETE CURING SHALL BE AS PER AS 3600-2018.
 - THIS DRAWING MUST BE READ IN CONJUNCTION WITH:
 - GEOTECHNICAL REPORT NO. 1221900-1 BY CIVILTEST DATED 30/01/2023.
 - THIS FOUNDATION HAS BEEN DESIGNED ASSUMING THE BORE-HOLE START LEVEL AND THE FINISHED GROUND LEVEL ARE THE SAME.
 - PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE LOCATION IS CLEAR OF ALL UNDERGROUND SERVICES.
 - THE TEMPERATURE DIFFERENTIAL ACROSS THE CROSS-SECTION OF THE CONCRETE MEMBER BEING CONSTRUCTED SHALL NOT EXCEED VALUES BASED ON THE COARSE AGGREGATE USED IN THE CONCRETE OF: 28°C FOR GRANITE, 32°C FOR BASALT AND 35°C FOR LIMESTONE UNTIL THE IN-SITU MATURITY EXCEEDS 3 DAYS. A CONCRETE CRACK ASSESSMENT ANALYSIS CAN BE USED TO JUSTIFY HIGHER VALUES OF DIFFERENT COARSE AGGREGATE TYPES.

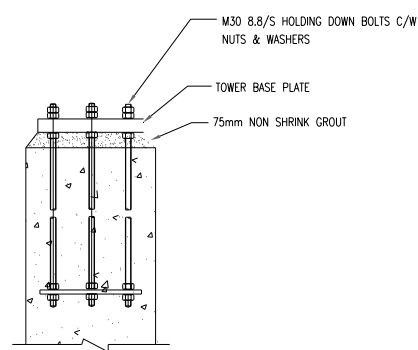


SECTIONAL ELEVATION OF LADDER FND SLAB

TOWER FOUNDATION PLAN



SECTIONAL ELEVATION



TYPICAL ANCHOR BOLT DETAIL

ADDITIONAL NOTES

- AT ALL CONSTRUCTION JOINTS, ALL LAITANCE SHALL BE THOROUGHLY REMOVED TO FULLY EXPOSE THE COARSE AGGREGATE MATRIX AND THE JOINT THOROUGHLY CLEANED AND WETTED PRIOR TO THE PLACEMENT OF ABUTTING CONCRETE.

REV.	DESCRIPTION	BY	DATE	APRV.
0	ISSUED FOR CONSTRUCTION	KL		
		HN	CHECKED	APPROVED



FSG SITE:

SCALE	DRAWING NUMBER	REV.
NTS		0

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
REGIONAL AUSTRALIA NETWORK
 SITE No: P6MOOR003
 MOORA
 761 Coomberdale East Road

Drawing Title:
TOWER/MONOPOLE FOUNDATION FOOTING DESIGN

Drawing Status:
DRAFT

Drawing No.
P6MOOR003-S5

Revision:
A

DO NOT SCALE

Solar Frame Design and Construction

Refer to the following documents:

1. Clenergy-PV-ezRack-SolarTerrace-III-A-with-Concrete-Brochure-18022021-web.pdf

Clenergy-PV-ezRack-SolarTerrace-III-A-Double-Support-Datasheet-15022021.pdf

Clenergy-PV-ezRack-SolarTerrace-III-A-Installation-Guide-V3.2.pdf

SOLUTION1_ DC_LOAD_6207W_UPDATE20230518.pdf

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
**REGIONAL AUSTRALIA
 NETWORK**
 SITE No: P6MOOR003
MOORA
 761 Coomberdale East Road

Drawing Title: SOLAR FRAME DESIGN		Revision:
Drawing Status: DRAFT	Drawing No. P6MOOR003-S6	A

SOLAR FRAME FOOTINGS/ ODU FOOTINGS

REFER TO THE FOLLOWING DOCUMENTS

OPTION 1 PIER (Preferred Option if NO Rocks Hit) : Solar Footings - Pier Foundations OPTION 1.pdf

OPTION 2 STRIP (Alternate Option if Rocks Encountered) : Solar Footings - Strip Foundations OPTION 2.pdf

Carport Drawing: Solar Footing GA Carport Type - SOLF-S201_rotate.pdf

Solar Frame Foundations Decision criteria

The foundation type for solar frames will be a pier foundation if no rocks are identified during the foundation work for tower on site.

If rocks are present, the foundation type will be a strip foundation.

Rev	Date	Revision Details	Consultant	CAD Designer	Verifier	Approver
A	05/10/2023	DRAFT				



Project:
REGIONAL AUSTRALIA
NETWORK
SITE No: P6MOOR003
MOORA
761 Coomberdale East Road

Drawing Title:
**SOLAR FRAME/ ODU
FOUNDATION/ FOOTING DESIGN**

Drawing Status:
DRAFT

Drawing No.
P6MOOR003-S7

Revision:
A



PLANNING REPORT

**Development Application for Telecommunications
Facility**

Lot 557 & 561 on Plan 3005

761 Coomberdale East Road, Moora WA 6512

15 November 2023



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LIST OF ATTACHMENTS

Attachment	Document
1	Development Approval Form
2	Owner's Consent
3	Certificate of Title
4	Survey Plan
5	FSG Design Drawings

Document Control:

Version	Description	Author	Date
1.0	Final	AL	15/11/2023



1 EXECUTIVE SUMMARY

1.1 INTRODUCTION

We submit a Development Application for Council approval for a Telecommunications Facility over the subject land.

Field Solutions Group provides wireless broadband internet and mobile network services to regional and remote areas across Australia. A telecommunications facility for wireless broadband and mobile networks is proposed and will be part of a wide network to be located throughout the region under the Federal Government's Regional Connectivity Program.

The subject land, being Lot M557 & M561 on Plan 3005, is located at 761 Coomberdale East Road, Moora WA 6512,

This development application is made in accordance with the *Planning and Development Act 2005* for assessment under the *Shire of Moora Local Planning Scheme No. 4*. The subject land is located in the General Agriculture Zone and, under the Zoning Table, a Telecommunications Facility in the General Agriculture Zone is not permitted unless the local government has exercised its discretion by granting development approval after giving notice in accordance with clause 64 of the deemed provisions.

To assist with the processing of the application, we have set out below details of the proposal and supporting information.

1.2 SUMMARY

Table 1: Summary

Address of Subject Land	761 Coomberdale East Road, Moora WA 6512
Real Property Description	Lot M557 & M561 on Plan 3005
Area of Subject Land	4162191.81m ²
Existing buildings	No Existing Buildings
Road frontages	Coomberdale East Road
Zone	General Agriculture
Overlays	Bushfire Prone Area, Native Vegetation
Name of Landowner	Kim Steven Topham & Michael David Topham
Easements/Encumbrances	None



2 SITE LOCATION AND DESCRIPTION

2.1 SUBJECT LAND

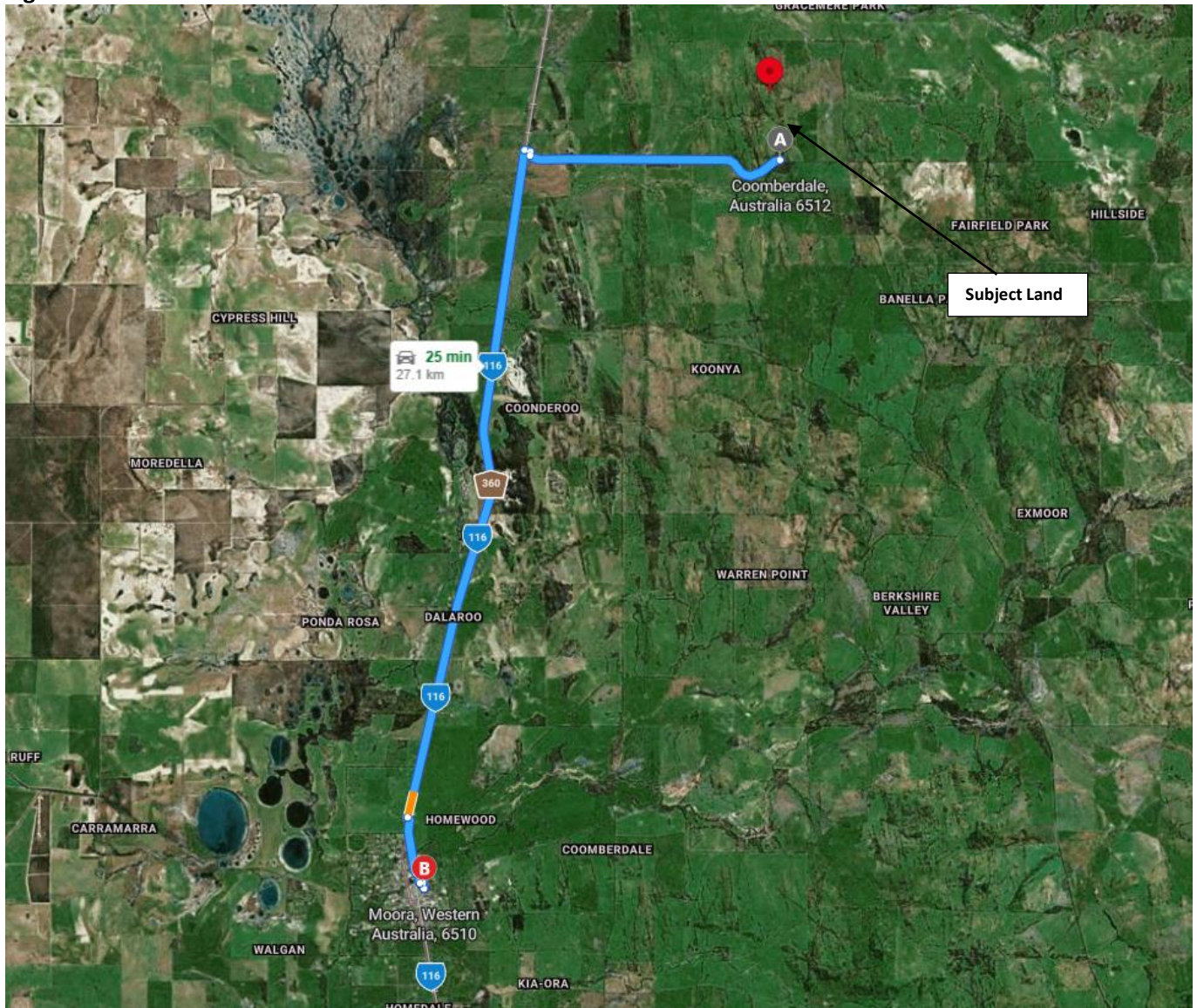
The subject land, being lots M557 and M561 on Plan 3005, known as 761 Coomberdale East Road is located approximately 27.1km North-East of Moora Post Office. Please refer to Figure 1 below for location of the subject land.

The subject land is identified as being located within the General Agriculture Zone according to Local Planning Scheme Map No. 1 of 8.

M561 on Plan 3005 has road frontage and access to Coomberdale East Road.

Surrounding land uses are rural in nature.

Figure 1: Site Location



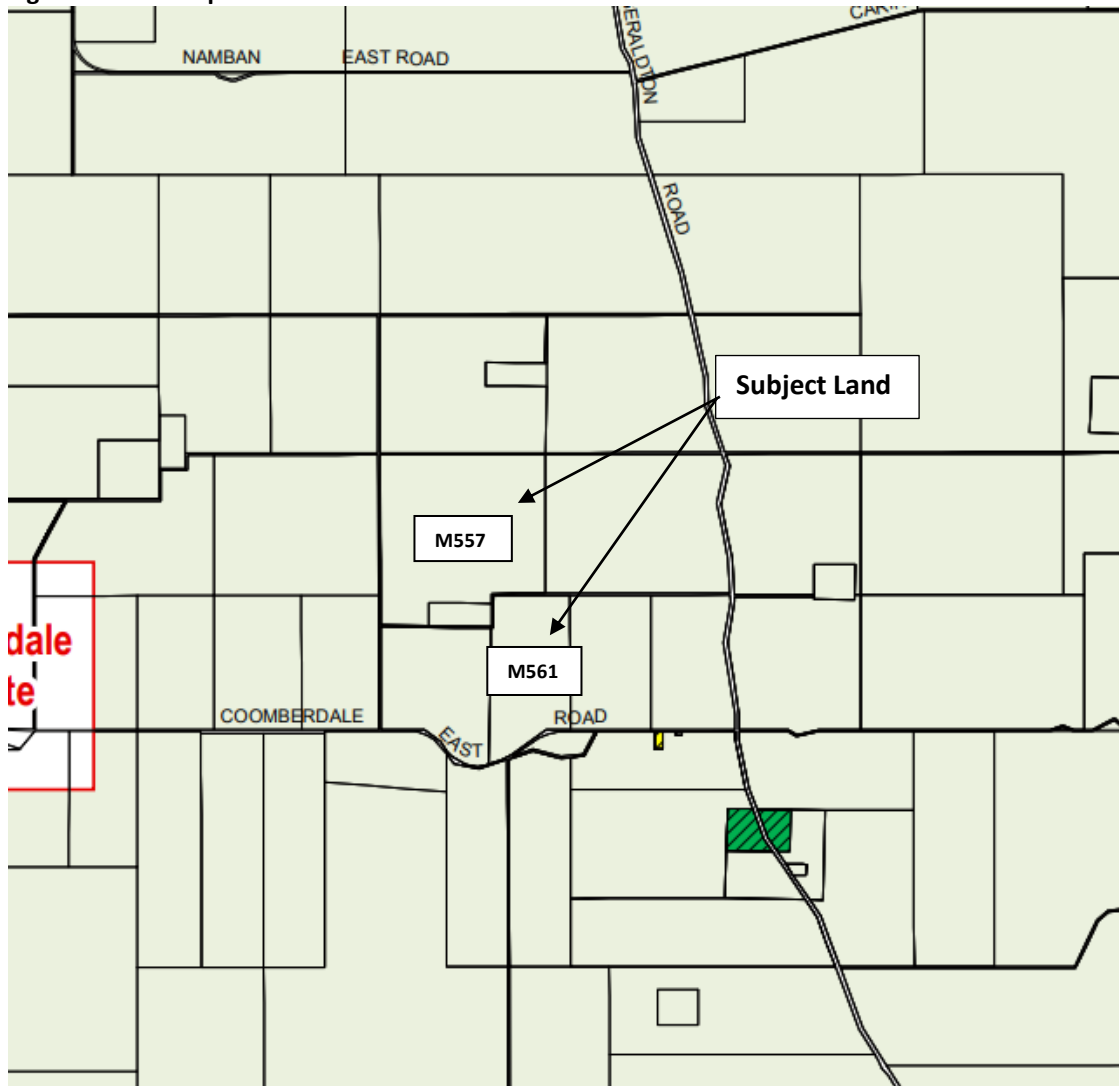
Source | Google Maps



2.2 ADJOINING AND SURROUNDING DEVELOPMENT

The subject land is located in the General Agriculture zone. Please refer to Figure 2 below.

Figure 2: Zone Map



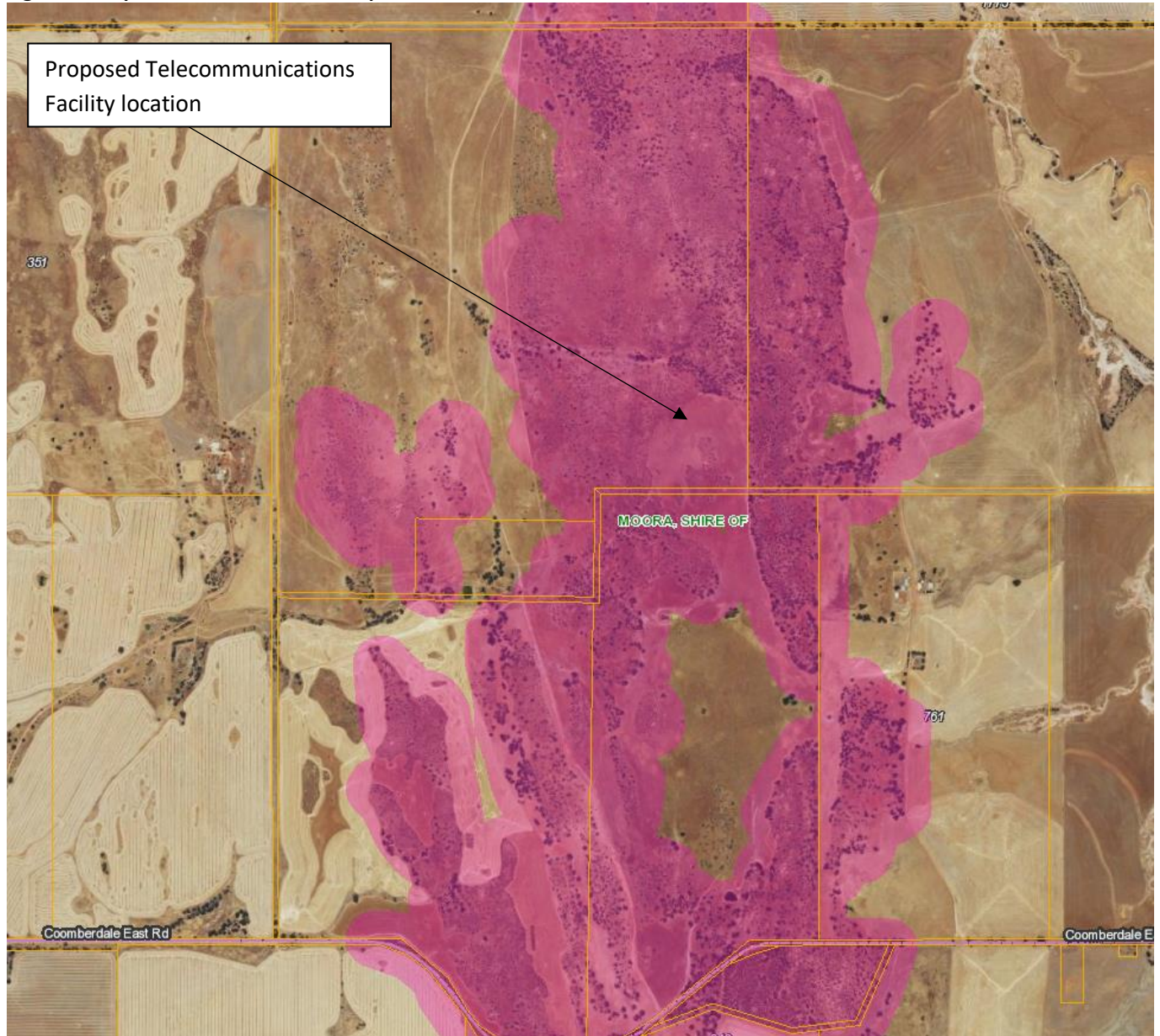
LOCAL SCHEME ZONES

Development	Special Mix Residential
General Agriculture	Special Use
Industrial	B Special Use : Builder
Light Industrial	CP Special Use : Caravan Park
Residential	LS Special Use : Local Shop
Rural Enterprise	MGC Special Use : Moora Golf Club
Rural Residential	MR Special Use : Motor Repair
Rural Smallholding	PS Special Use : Private School
Rural Townsite	Town Centre

2.3 OVERLAYS

The subject land is affected by the following overlay.

Figure 3: Map of Bushfire Prone Areas | Source: SLIP



The subject land is affected by the Native Vegetation Extent Overlay. The proposed location of the telecommunications facility is outlined in figure 4 and 5, which indicates the development site will be located outside the native vegetation overlay, thus no clearing of mature vegetation is required.

Figure 4: Mapping of Native Vegetation Extent Overlay



Figure 5: Distance to Native Vegetation Extent Overlay



3 PROPOSED DEVELOPMENT

FSG wish to obtain development consent for a telecommunications facility to be located on the subject land. The telecommunication facility will be located on M557 on Plan 3005 and the site will be accessed via M561 on Plan 3005, which has frontage to Coomberdale East Road.

3.1 PROPOSED TELECOMMUNICATIONS FACILITY

The proposed development is for a telecommunications facility consisting of:

- 45m telecommunications tower
- Antennas and radiocommunications equipment
- Outdoor ground equipment cabinets
- Security fencing around the proposed facility
- Solar power system

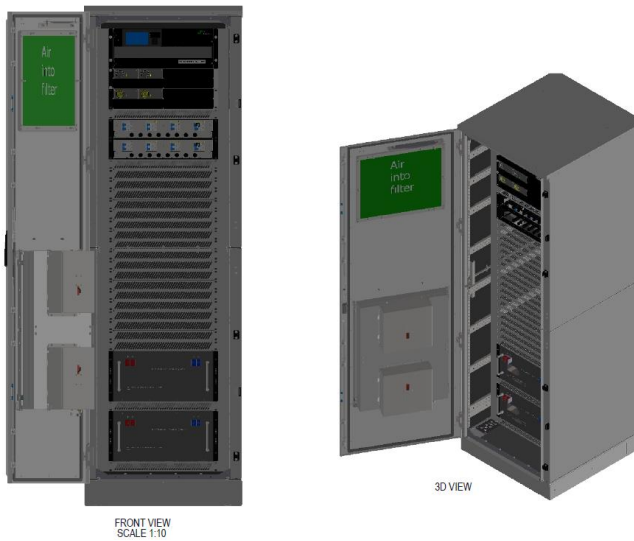
During construction, the components of the tower, fencing and other items will be delivered on a heavy rigid or articulated vehicle. Minor scouring of the site and excavation for footings will be required prior to a concrete base and footings being poured. The tower will then be constructed and fencing and other infrastructure put in place to secure the facility once construction is complete.

The new tower will be located in the north eastern corner of the subject land as shown on the Site Plan in **Attachment 5**. The compound will occupy an area of about 900m² and will be fully fenced.

Figure 6: Example of Proposed Telecommunications Facility



Figure 7: Example of a 4-Bay Outdoor Ground Equipment Cabinet



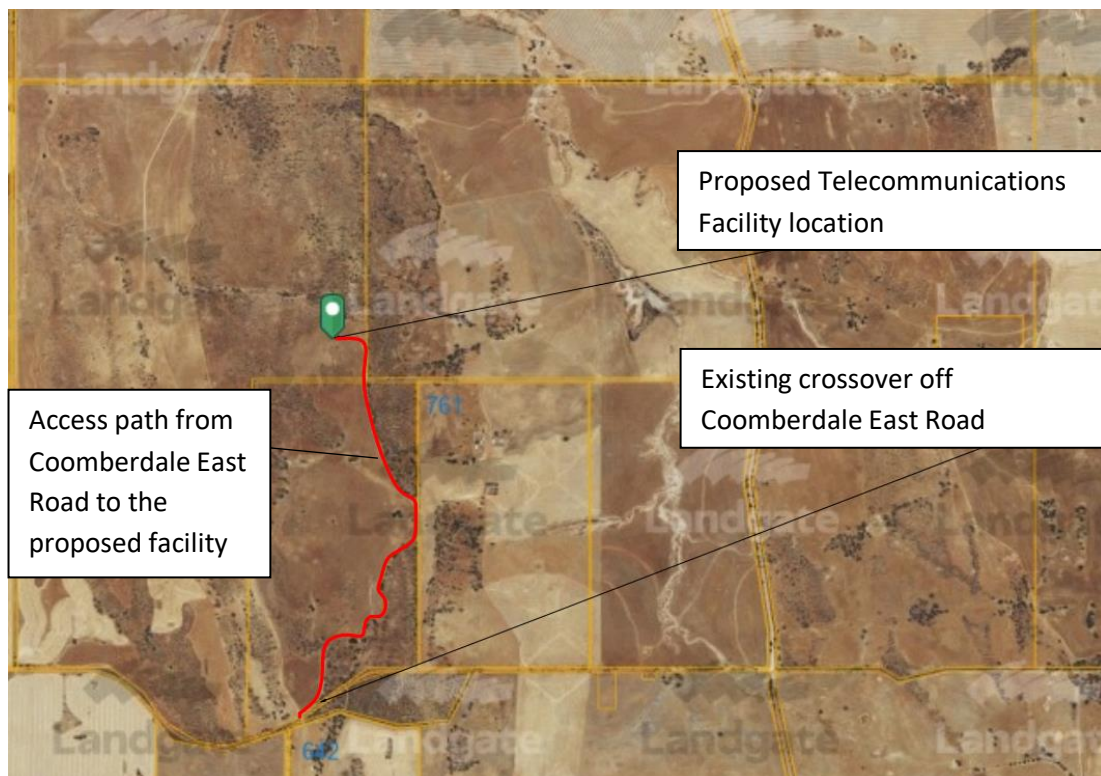
3.2 ACCESS, TRAFFIC AND PARKING

Access to the site will be via an existing gravel crossover and access driveway from Coomberdale East Road to the subject site.

Access to the site by the applicant will be infrequent and will be required for initial construction and then approximately once a year for maintenance. It is expected that the maximum vehicle size visiting the site will be a medium rigid vehicle.

It is not proposed to formalise parking spaces given the infrequent access required to the site.

Figure 8: Access to the site from Coomberdale East Road





3.3 SERVICES

The telecommunications tower does not have a large footprint and does not create stormwater runoff. Given the tower will be surrounded by a pervious surface, a stormwater management plan has not been prepared.

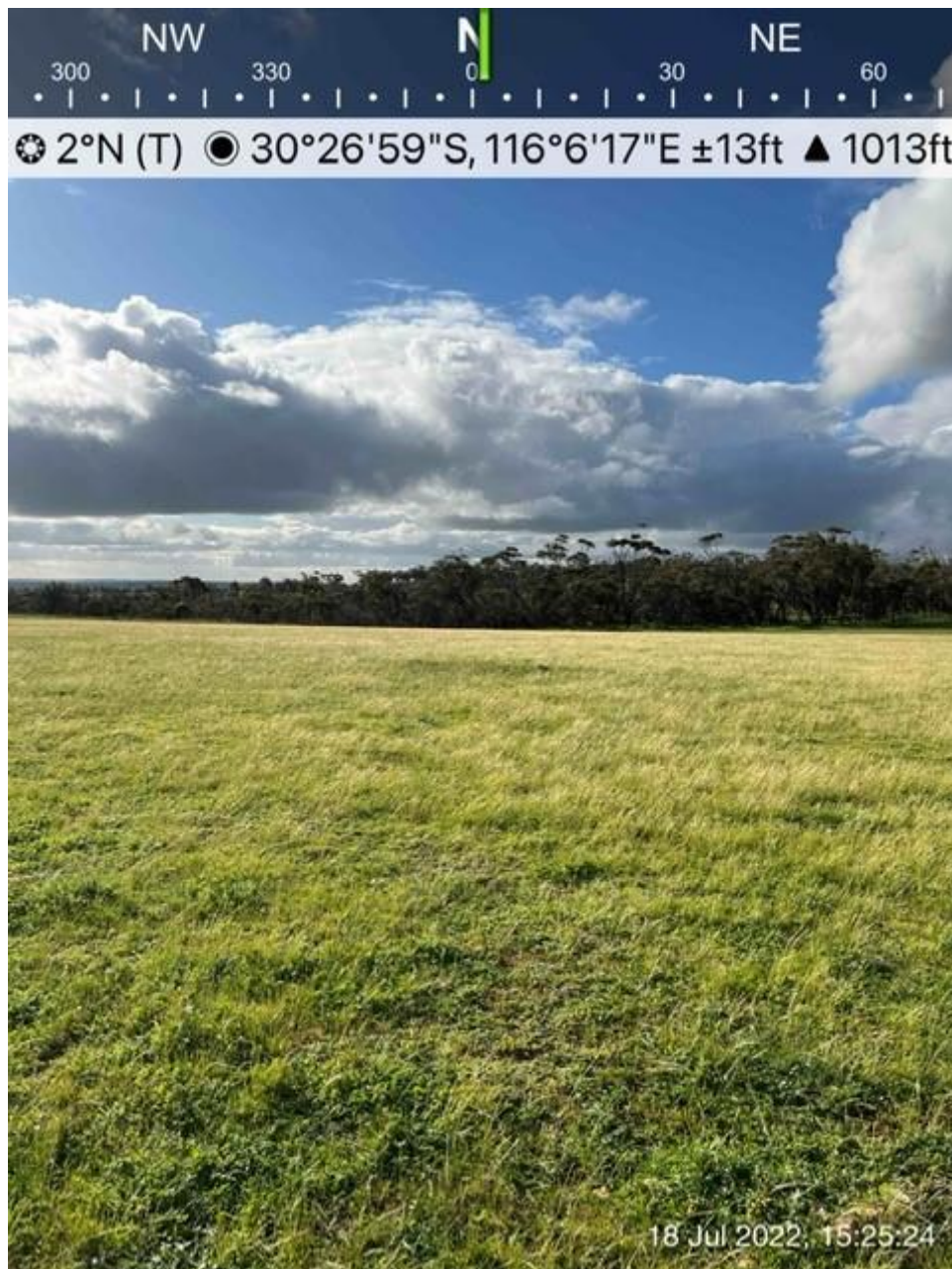
The telecommunications tower does not need to be connected to a water supply or require effluent disposal.

Electricity will be provided by way of a solar power system.

3.4 LANDSCAPING

Given the rural nature of the area, it is not proposed to provide additional landscaping.

Figure 9: Vegetation at the site location





3.5 WASTE

Once construction is complete, the telecommunications facility will not generate waste and it is not proposed to provide bins.

All construction waste will be removed from the site by contractors.

3.6 CULTURAL HERITAGE

A search of the Aboriginal Cultural Heritage Inquiry System shows that there is no known aboriginal cultural heritage in the vicinity. FSG and its contractors understand the importance of aboriginal artefacts and will take all reasonable and practicable measures to ensure the activity does not harm cultural heritage if anything is found.



4 LEGISLATIVE MATTERS

4.1 PLANNING AND DEVELOPMENT ACT 2005

The *Planning and Development Act 2005* is the overriding legislation for this Development Application. Compliance with the Act and any subordinate legislation will be demonstrated and where any conflict exists with compliance, sufficient justification will be provided.

4.2 STATE PLANNING POLICY 5.2 – TELECOMMUNICATIONS INFRASTRUCTURE

The intent of State Planning Policy 5.2 – Telecommunications Infrastructure is to “balance the need for effective telecommunications services and effective roll-out of networks, with the community interest in protecting the visual character of local areas”.

As stated in the Policy, adequate and reliable telecommunications are essential for all aspects of contemporary community life, from supporting the State’s economy to creating and maintaining connected and cohesive social networks. Contact between emergency services and the community increasingly relies on the telecommunications networks. The importance of telecommunications services in Western Australia is recognised in the Western Australian Planning Commission’s (WAPC’s) State Planning Strategy 2050 (2014), which advocates for the provision of an effective state-wide telecommunications network. This network includes both above and below ground infrastructure to support both fixed line and wireless telecommunications.

The proposed development provides a mobile phone service to a known black spot area and a wireless broadband network through line-of-site towers, thereby complying with the intent of the Policy.

Therefore, the proposal is consistent with the principles set out in the Policy and can be balanced with the need for effective telecommunications services.

4.3 STATE PLANNING POLICY 3.7 – PLANNING IN BUSHFIRE PRONE AREAS

Part of the subject land, and the location of the proposed telecommunications facility, has been identified in the SLIP mapping as being within a Bushfire Prone Area, as shown in Figure 3 above.

The intent of the SPP is “to implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure.” While the proposed facility is located in a bushfire prone area, the development does not result in an increase of residents or employees, nor does it increase the bushfire threat.

We have made an assessment of the proposed development and confirm that the proposed development mitigates bushfire hazard in the following ways:

- Essential ground equipment will be housed inside a metal outdoor ground unit, thereby protecting infrastructure from potential bushfire threats;
- The tower structure is designed to withstand 40kWm² of radiant heat.
- The outdoor ground unit is expected to withstand ember penetration.
- Access to the site is free from vegetation.

We hope this satisfies any requirement for further reports particularly given the rural nature of the surrounding area.



4.4 MOBILE PHONE BASE STATION DEPLOYMENT INDUSTRY CODE

The *Mobile Phone Base Station Deployment Industry Code C564:2020* (the Code) is designed to:

- *allow the community and councils to have greater participation in decisions made by Carriers when deploying mobile phone base stations; and*
- *provide greater transparency to local community and councils when a Carrier is planning, selecting sites for, installing and operating Mobile Phone Radiocommunications Infrastructure.*

The relevant provisions of the Code are addressed below:

Table 2: Mobile Phone Base Station Deployment Industry Code C564:2020 objectives

Objective	Solution
(a) to apply a Precautionary Principle to the deployment of Mobile Phone Radiocommunications Infrastructure;	FSG has applied the Precautionary Principle in selection and design of the proposed site in accordance with Sections 4.1 and 4.2 of the Code. The precautionary principle has been applied in this case to ensure the best outcome for all stakeholders in terms of facility design, site selection, planning, community concerns and environmental concerns.
(b) to provide best practice processes for demonstrating compliance with relevant exposure limits and the protection of the public;	An EME report will be generated to demonstrate compliance with the ARPANSA safety standard for general public exposure limits.
(c) to ensure that the exposure of the community to EME is minimised;	The facility has been designed to operate well within ARPANSA safety standard for radio frequency exposure.
(d) to ensure relevant stakeholders are informed, notified or consulted and engaged with before Mobile Phone Radiocommunications Infrastructure is constructed;	Consultation has been held with Council which resulted in positive feedback due to the benefit to the community of reliable wireless broadband and mobile network. Any relevant stakeholders will be notified during the community engagement stage of the development application.
(e) to specify standards for consultation, information availability and presentation;	General information relating to this proposal will be available for members of the public on the Radio Frequency National Site Archive (RFNSA) website (www.rfnsa.com.au). As the proposal requires Council determination, notification and consultation with relevant stakeholders will be undertaken during the community engagement stage of the development application.
(f) to consider the impact on the wellbeing of the community, physical or otherwise, of Mobile Phone Radiocommunications Infrastructure; and	The proposed location for the facility has been selected to ensure that both coverage objectives are achieved whilst also carefully considering and balancing the appropriateness and proximity to community sensitive locations.



	<p>An EME report will be generated to demonstrate the applicant’s most responsible approach to deployment and determine the levels of radio frequency exposure to the general public based on the ARPANSA safety standard.</p> <p>The facility is designed to improve and provide reliable wireless broadband and mobile services to the surrounding community and, as a result, it is expected to have a positive impact on social and economic activity.</p>
<p>(g) to ensure Council and community views are incorporated into the Mobile Phone Radiocommunications Infrastructure site selection.</p>	<p>Sites for telecommunications facilities are chosen for elevation, distance to other towers and ease of access. During the site selection process, the Shire of Moora requirements were also taken into account in terms of zone objectives, environmental considerations, visual amenity and emissions. It has been shown that, on balance, the site for the telecommunications facility is appropriately located.</p>

4.5 SHIRE OF MOORA PLANNING SCHEME NO. 4

The proposed use will be assessed against the Shire of Moora Local Planning Scheme No. 4 (the Planning Scheme). The proposed development will demonstrate compliance with all requirements of the Planning Scheme and, where any conflict exists with compliance, sufficient justification will be provided.

The subject land is located in the General Agriculture Zone. The use is not specified within the Zoning table in the planning scheme, nor does it fall within the interpretation of a use, therefore the development must comply with s3.2.4. of the planning scheme which states that;

If the use of land for a particular purpose is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the interpretation of one of the use categories the local government may:

- a. determine that the use is consistent with the objectives and purposes of the particular zone and is therefore permitted; or*
- b. determine that the proposed use may be consistent with the objectives and purposes of the zone and thereafter follow the ‘A’ advertising procedures of clause 64 of the deemed provisions in considering an application for developmental approval; or*
- c. determine that the use is not consistent with the objectives and purposes of the particular zone and is therefore not permitted.*

Section 64 of Schedule 2 Deemed provisions for local planning schemes of the *Planning and Development (Local Planning Schemes) Regulation 2015* requires advertising of complex applications for development approval. We note that the proposed telecommunications facility, while not a complex application, will require advertising due to the nature of the use.

We have addressed the proposal against the objectives of the General Agriculture Zone under Part 3 of the Planning Scheme as follows:

- To ensure the continuation of broad-hectare farming as the principal land use in the district and encouraging where appropriate the retention and expansion of agricultural activities.



Response: The proposed telecommunications facility will be located on part of the land that will not interfere with any rural pursuits on the subject land. It is not expected that the facility will impact the amenity of the locality given the location on the outskirts of town.

- To consider non-rural uses where they can be shown to be of benefit to the district and not detrimental to the natural resources or the environment.

Response: The proposed telecommunications facility is proposed to be located in an area of the property that will not affect the continuation of the rural use on the subject land. It is not proposed to clear mature vegetation on the property and the landscape will be maintained. The facility will allow for greater connection in the area. The facility will be of benefit to the district by providing wireless broadband internet and mobile network services to the surrounding area.

- To allow for facilities for tourists and travellers, and for recreation uses.

Response: Not applicable



5 CONCLUSION

The proposal is for a telecommunications facility which will provide mobile phone and fixed wireless broadband networks to a remote and regional community.

The subject land is suitable for a telecommunications facility for the following reasons:

- The site has direct line of site to other proposed towers in the region;
- The site has good access and the development will not create a nuisance to traffic;
- The proposed development will not increase flood hazard;
- The proposed development will not increase bushfire hazard;
- The subject land has not been identified as containing Aboriginal artefacts;
- The proposed facility will not interfere with agricultural land;
- The facility has been designed to comply well within the mandated safety standards set out by the Australian Radiation Protection & Nuclear Safety Agency (ARPANSA) for EME exposure to the general public; and
- Likely impacts are low.

Therefore, Council can be confident in approving the telecommunications facility as it will satisfy an essential community need.

We trust the details of the Development Application set out above and attached are satisfactory.

Thank you for your consideration and please do not hesitate to contact the writer if further information is required.

Yours Sincerely

Angus Lovell | Town Planner